

An
Bord
Pleanála

Strategic Housing Development

Application Form

Before you fill out this form

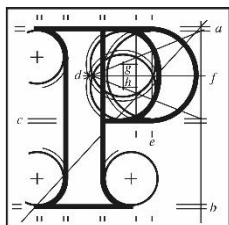
Please note that failure to complete this form or attach the necessary documentation, or the submission of incorrect information or omission of required information, will lead to An Bord Pleanála refusing to deal with your application. Therefore, ensure that each section of this request form is fully completed and signed, entering n/a (not applicable) where appropriate, and that all necessary documentation is attached to the application form. You are advised to refer to the “General Guidance Note” provided on pages 27 to 29 prior to completing this form.

Other Statutory Codes

An applicant will not be entitled solely by reason of a planning permission to carry out the development. The applicant may need other statutory consents, depending on the type of development. For example, all new buildings, extensions and alterations to, and certain changes of use of existing buildings must comply with building regulations, which set out basic design and construction requirements

Data Protection

It is the responsibility of persons or entities wishing to use any personal data on a planning application form for direct marketing purposes to be satisfied that they may do so legitimately under the requirements of the Data Protection Acts 1988 and 2003. The Office of the Data Protection Commissioner state that the sending of marketing material to individuals without consent may result in action by the Data Protection Commissioner against the sender, including prosecution.



An
Bord
Pleanála

Application Form in respect of a Strategic Housing Development

Contact details for sections 1 to 4 to be supplied in Section 26 of this form.

1. Applicant:

Name of Applicant:	Eastwise Construction Swords Ltd
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2. Where the Applicant is a Company (Registered under the Companies Acts):

Registered Address of Company:	Station Mews, Lindsay Grove, Glasnevin, Dublin 9, D09W8W8
Company Registration No:	655641

3. Name of Person/Agent (if any) Acting on Behalf of the Applicant:

Name:	Brenda Butterly
Is An Bord Pleanála to send all correspondence to the above person/agent acting on behalf of the applicant? (Please tick appropriate box)	Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] (Please note that if the answer is "No", all correspondence will be sent to the applicant's address)

4. Person Responsible for Preparation of Drawings and Plans:

Name:	Calogero Marino
Firm/Company:	C+W O'Brien Architects

5. Planning Authority

Name of the Planning Authority(s) in whose functional area the site is situated:	Dublin City Council
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6. Site of Proposed Strategic Housing Development:

Postal Address /Townland/ Location of the Proposed Development (sufficient to identify the site in question):	
Address Line 1:	'Hartfield Place'
Address Line 2:	Swords Road
Address Line 3:	Whitehall
Town/City:	
County:	Dublin 9
Eircode:	
Ordnance Survey Map Ref. No. (and the Grid Reference where available)	3198-02 3198-01 3132-22 3132-21
Where available, please provide the application site boundary, as shown in the submitted plans / drawings, as an ESRI shapefile in the Irish Transverse Mercator (ITM IREN95) co-ordinate reference system. Alternatively, a CAD file in .dwg format, with all geometry referenced to ITM, may be provided.	
Area of site to which the application relates in hectares:	3.89 ha (gross) 2.73 (net)
Site zoning in current Development Plan or Local Area Plan for the area:	Z12 Institutional Land
Existing use(s) of the site and proposed use(s) of the site:	Vacant

7. Applicant's Interest in the Site:

Please tick appropriate box to show the applicant's legal interest in the land or structure:	Owner	Occupier	Other
	X		X

Where legal interest is "Other", please expand further on the applicant's interest in the land or structure:

EW Property Limited have provided a Letter of Consent for Eastwise Construction Swords Limited to apply for the proposed development at the subject lands. Eastwise Construction Swords Limited is a subsidiary of the owner EW Property Limited.

Dublin City Council have provided a Letter of Consent for the proposed infrastructure and road network improvement works along Swords Road on land not within the Applicant's ownership.

Letters of Consent enclosed as Appendix D and E.

State Name and Address of the Site Owner: If the applicant is not the legal owner , please note that you are required to supply a letter of consent, signed by the site owner.	EW Property Limited Station Mews Lindsay Grove Glasnevin Dublin 9 Dublin City Council Civic Offices Wood Quay Dublin 8
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Does the applicant own or control adjoining, abutting or adjacent lands?	Yes: [] No: [X]
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If the answer is "Yes" above, identify the lands and state the nature of the control involved:

8. Site History:

Is the applicant aware of any valid planning applications or An Bord Pleanála decisions previously made in respect of this land / structure?		Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
<p>Note: If an application for permission for strategic housing development or a planning application under section 34 of the Planning and Development Act 2000 has been made in respect of this site in the 6 months prior to the submission of this application, the site notice for the current application in respect of strategic housing development must be on a yellow background.</p>		
If the answer is “Yes” above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):		
Reg. Ref. No. / An Bord Pleanála Ref. No.	Nature of Proposed Development	Final Decision by Planning Authority / An Bord Pleanála
ABP 309608-21	475 no. apartments and associated site works	Refuse
DCC Reg. Ref. 3766/20	Amendments to Block A permitted under DCC Reg. Ref. 3269/10	Withdrawn
DCC Reg. Ref. 3405/19	Amendments to Block F permitted under DCC Reg. Ref. 3269/10	Grant
DCC Reg. Ref. 3269/10/X1	Extension of duration for permission granted under DCC Reg. Ref. 3269/10	Grant
DCC Reg. Ref. 3269/10 / ABP Ref. PL29N.238685	Mixed-use scheme comprised of 358 No. residential units and 3 No. commercial units.	Grant
Is the site of the proposed development subject to a current appeal to An Bord Pleanála?		Yes: [<input type="checkbox"/>] No: [<input checked="" type="checkbox"/>]
If the answer is “Yes” above, please specify the An Bord Pleanála reference no.:		
Is the applicant aware of any other relevant recent planning applications or decisions by An Bord Pleanála in relation to adjoining or adjacent sites?		Yes: [<input type="checkbox"/>] No: [<input checked="" type="checkbox"/>]
If the answer is “Yes” above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):		

Is the applicant aware of the site ever having been flooded?	Yes: [<input type="checkbox"/>] No: [<input checked="" type="checkbox"/>]
<p>If the answer is “Yes” above, please give details e.g. year, extent:</p> 	
Is the applicant aware of previous uses of the site e.g. dumping or quarrying?	Yes: [<input type="checkbox"/>] No:[<input checked="" type="checkbox"/>]
<p>If the answer is “Yes” above, please give details:</p> 	

9. Description of the Proposed Strategic Housing Development:

Please provide a brief description of the nature and extent of the proposed development, including-

- the proposed types and numbers of houses, student accommodation or both,
- in the case of student accommodation units, the combined number of bedspaces, and any other uses to which those units may be put,
- proposed services ancillary to residential development,
- other proposed uses in the development of the land, the zoning of which facilitates such use, and
- where an Environmental Impact Assessment Report or Natura Impact Statement has been prepared in respect of the application, an indication of that fact.

Eastwise Construction Swords Ltd intend to apply to An Bord Pleanála for permission for a strategic housing development at 'Hartfield Place', Swords Road, Whitehall, Dublin 9. The site is bound to the west by Swords Road, to the south by Highfield Hospital, to the north by vacant land and GAA pitches, and to the east by Beechlawn Nursing Home. To facilitate water services and road infrastructure connections/upgrades the application site red line extends to include a portion of Swords Road (including junctions with Iveragh Road and Collins Avenue), High Park and Grace Park Road (including junctions with Grace Park Heights and Sion Hill Road).

The proposed development will consist of the construction of 7 no. apartment blocks, ranging in height up to 8 storeys (over single level basement). This will provide 472 no. residential units (comprising 32 no. studios, 198 no. 1 beds, 233 no. 2 beds, and 9 no. 3 beds). All with associated private balconies/terraces to the north/south/east/west elevations. A creche (c.445.76sqm), a café unit (c.99sqm), and internal residential amenity space (c.511sqm), providing a sun lounge, gym, screening room, lounge, and meeting rooms, will also be provided.

The proposed development will include 337 no. car parking spaces, 982 no. cycle parking spaces, and 14 no. motorcycle spaces at basement/surface levels, public open space, and communal open spaces at ground and roof levels.

Vehicular access from Swords Road will be provided with associated works/upgrades to the existing public road layout, junctions, bus lane and footpath network to facilitate same. Two pedestrian/ cyclist only access are provided from the Swords Road as well as a separate pedestrian and cyclist access to the southwest which also facilitates emergency vehicular access.

The application will include for all development works, landscaping, ESB substations, plant areas, bin storage, surface water attenuation, and site services required to facilitate the proposed development. Upgrades to the Irish Water network to facilitate the development are also proposed.

Please submit a site location map sufficient to identify the land, at appropriate scale.	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
Please submit a layout plan of the proposed development, at appropriate scale.	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]

10. Pre-Application Consultations

(A) Consultation with Planning Authority: State the date(s) and planning authority reference number(s) of the consultation meeting(s) held with the planning authority under section 247 of the Planning and Development Act 2000:	
Planning Authority reference number:	N/A
Meeting date(s):	7 th September 2021
(B) Consultation with An Bord Pleanála: State the date(s) and An Bord Pleanála reference number(s) of the pre-application consultation meeting(s) with An Bord Pleanála:	
An Bord Pleanála reference number:	ABP 311749-21
Meeting date(s):	25 th January 2022
(C) Any Consultation with Prescribed Authorities or the Public: Provide details of any other consultations the applicant had with authorities prescribed under section 8(1)(b) and (c) of the Act of 2016 or with the public:	

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11. Application Requirements

(a) Is a copy of the page from the newspaper containing the notice relating to the proposed strategic housing development enclosed with this application?		Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
If the answer to above is "Yes", state name(s) of newspaper(s) and date(s) of publication:	Irish Daily Star 4 th April 2022	
(b) Is a copy of the site notice relating to the proposed development enclosed with this application?		Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
If the answer to above is "Yes", state date on which the site notice(s) was erected:		4 th April 2022
Note: The location of the site notice(s) should be shown on the site location map enclosed with this application.		
(c) Is an Environmental Impact Assessment Report (EIAR) required for the proposed development?		Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
If the answer to above is "Yes", is an EIAR enclosed with this application?		Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
Please provide a copy of the Confirmation Notice obtained from the EIA Portal where an EIAR accompanies the application.		Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] See Appendix G
(d) Is the proposed development, in whole or in part, within or close to a European site or Natural Heritage Area?		Yes: [<input type="checkbox"/>] No: [<input checked="" type="checkbox"/>]

(e) Is a Natura Impact Statement (NIS) required for the proposed development?		Yes: [<input type="checkbox"/>] No: [<input checked="" type="checkbox"/>]
If the answer to above is "Yes", is an NIS enclosed with this application?		Yes: [<input type="checkbox"/>] No: [<input type="checkbox"/>] N/A
(f) Has a copy of this application, and any EIAR and/or NIS required, been sent to the relevant planning authority, in both printed and electronic form?		Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
(g) Has a copy of this application, and any EIAR and/or NIS required, together with a notice stating that submissions or observations may be made in writing to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant prescribed authorities, in both printed and electronic format?		Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input type="checkbox"/>]
If the answer to the above is "Yes", list the prescribed authorities concerned:	Minister for Housing, Local Government and Heritage An Taisce – The National Trust for Ireland The Heritage Council Irish Water National Transport Authority (NTA) Transport Infrastructure Ireland (TII) Dublin City Childcare Committee Note: These prescribed authorities have requested an electronic copy only be sent to them.	
If the answer to the above is "Yes", state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:		12 th April 2022
(h) Is the proposed development likely to have significant effects on the environment of a Member State of the European Union or a state that is a party to the Transboundary Convention?		Yes: [<input type="checkbox"/>] No: [<input checked="" type="checkbox"/>]
If the answer to the above is "Yes", has a copy of this application, and the accompanying EIAR, together with a notice stating that submissions or observations may be made in writing to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant authority in the state or states concerned, in both printed and electronic format?		Yes: [<input type="checkbox"/>] No: [<input type="checkbox"/>] N/A

<p>If the answer to the above is “Yes”, list the state(s) and the prescribed authorities concerned:</p>	<p>N/A</p>
<p>If the answer to the above is “Yes”, state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:</p>	<p>N/A</p>

12. Statements Enclosed with the Application Which:

(a) Set out how the the proposed strategic housing development is consistent with the relevant objectives of the relevant development plan:	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] See Planning Report enclosed
Note: The statement should be accompanied by a list of each relevant development plan objective considered by the prospective applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.	
(b) Set out, where applicable how the proposed strategic housing development will be consistent with the objectives of the relevant local area plan:	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] See Planning Report enclosed
Note: The statement should be accompanied by a list of each relevant local area plan objective considered by the prospective applicant in making the statement and any proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.	
(c) Set out, where applicable that the proposed strategic housing development is, in the applicant's opinion, consistent with the planning scheme for a strategic development zone:	Enclosed: Yes: [<input type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input checked="" type="checkbox"/>]
Note: The statement should be accompanied by a list of the principal provisions of the planning scheme considered by the prospective applicant in making the statement.	
(d) Set out how the the proposed strategic housing development is, in the applicant's opinion, consistent with any relevant guidelines issued by the Minister under section 28 of the Act of 2000:	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input type="checkbox"/>] See Planning Report enclosed
Note: The statement should be accompanied by a list of the guidelines considered by the applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with the guidelines.	
(e) Where An Bord Pleanála notified the applicant of its opinion that the documents enclosed with the request for pre-application consultations required further consideration and amendment in order to constitute a reasonable basis for an application for permission, a	Enclosed: Yes: [<input type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input checked="" type="checkbox"/>]

statement setting out any changes made to the proposals in consequence.	
(f) Where An Bord Pleanála notified the applicant that specified additional information should be submitted with any application for permission, a statement setting out that such information accompanies the application.	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input type="checkbox"/>] See Planning Report enclosed

13. Material Contravention of Development Plan/Local Area Plan:

Where the proposed strategic housing development materially contravenes the relevant development plan or local area plan other than in relation to the zoning of land, is a statement included with the application indicating the plan objective concerned and why permission should, nonetheless, be granted, having regard to a consideration specified in section 37(2)(b) of the Act of 2000?	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] See Planning Report enclosed
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14. Proposed Residential Development:

- (a) Provide a breakdown of the proposed residential content of the strategic housing development, as follows:

Houses		
Unit Type	No. of Units	Gross floor space in m ²
1-bed	-	-
2-bed	-	-
3-bed	-	-
4-bed	-	-
4+ bed	-	-
Total	-	-

Apartments		
Unit Type	No. of Units	Gross floor space in m ²
Studio	32	1,184.0
1-bed	198	10,265.8
2-bed	233	19,305.4
3-bed	9	944.1
4-bed	-	-
4+ bed	-	-
Total	472	31,699.2

Student Accommodation			
Unit Types	No. of Units	No. of Bedspaces	Gross floor space in m ²
Studio	-	-	-
1-bed	-	-	-
2-bed	-	-	-
3-bed	-	-	-
4-bed	-	-	-
4+ bed	-	-	-
Total	-	-	-

(b) State total number of residential units in proposed development:	472
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(c) State cumulative gross floor space of residential accommodation, in m ² :	36,989.2
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15. Proposed Ancillary and Other Uses in the Proposed Strategic Housing Development:

(a) Please provide details of the different classes of development proposed as ancillary to residential development and other uses on the land, the zoning of which facilitates such uses, as follows:	
Class of Development:	Gross Floor Space in m²
Creche (63 no. full/part time childcare spaces / 73 no. ECCE childcare spaces)	445.76
Café	99
Residential Amenity Space	511
<p>Note: Where it is not proposed to provide one childcare facility for each 75 houses in the proposed development, the application should be accompanied by a statement of the rationale for this.</p>	
(b) State cumulative gross floor space of non-residential development in m ² :	544.76 (excluding residential amenity space)
(c) State cumulative gross floor space of residential accommodation and other uses in m ² :	37,533.96
(d) Express 15(b) as a percentage of 15(c):	1.45%

16. Strategic Housing Development Details:

Note: If the answer to any of the below statements is “Yes”, please submit a brief statement in support of your application.

Please tick appropriate box:	Yes	No
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(a) Are details of housing density, plot ratio, site coverage, building heights, proposed layout and aspect enclosed with the application?	X	
(b) Are details of public and private open space provision, landscaping, play facilities, pedestrian permeability, vehicular access and parking provision, where relevant, enclosed with the application?	X	
(c) Are details of any proposals to address or, where relevant, integrate the proposed development with surrounding land uses enclosed with the application?	X	
(d) Are details of any proposals to provide for services infrastructure other than water, such as cabling (including broadband provision) and any phasing proposals enclosed with the application?	X	
(e) Does the proposed development include an activity requiring an integrated pollution control licence or a waste licence? If "Yes", enclose a brief explanation with this application.		X
(f) Does the proposed development involve the demolition of any structure (including a habitable house), in whole or in part? If "Yes", enclose a brief explanation with this application.		X
(g) Does the proposed development involve the demolition of a Protected Structure(s), in whole or in part? If "Yes", an explanation as to the need for the demolition of a Protected Structure(s) should be enclosed with this application.		X
(h) Does the proposed development consist of work to a Protected Structure and/or its curtilage or proposed Protected Structure and/or its curtilage? If "Yes", provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.		X

<p>(i) Does the proposed development consist of work to the exterior of a structure which is located within an architectural conservation area (ACA)?</p> <p>If "Yes", provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.</p>		<p>X</p>
<p>(j) Does the proposed application development affect, or is close to, a national monument or place in the ownership or guardianship of the Minister for Culture, Heritage and the Gaeltacht or a local authority, or is it the subject of a preservation order or temporary preservation order under the National Monuments Acts 1930 to 2014?</p> <p>If "Yes", enclose a brief explanation with this application.</p>		<p>X</p>
<p>(k) Is the proposed development in a Strategic Development Zone?</p> <p>If "Yes", enclose a statement of how the proposed development is consistent with the planning scheme for the Zone.</p>		<p>X</p>
<p>(l) Do any statutory notices (e.g. Fire Safety, Enforcement, Dangerous Buildings, Derelict Sites, Building Control, etc.) apply to the site and/or any building thereon?</p> <p>If "Yes", enclose details with this application.</p>		<p>X</p>
<p>(m) Do the Major Accident Regulations apply to the proposed development?</p>		<p>X</p>
<p>(n) Is information specified by An Bord Pleanála as necessary for inclusion in any application for permission for the proposed development, so included?</p> <p>If "Yes", give details of the specified information accompanying this application.</p>	<p>X</p>	

17. Where the Proposed Development Relates to Existing Building(s) / Structure(s):

State gross floor space of any existing building(s) / structure(s) in m ² :	0
State gross floor space of any proposed demolition, in m ² :	0
State gross floor space of any building(s) / structure(s) to be retained in m ² :	0
State total gross floor space of proposed works in m ² :	37,533.96

18. Where the Application relates to Material Change of Use of Land or Structure:

(a) State existing use of land or structure:	Vacant Site
(b) Where the existing land or structure is not in use, state the most recent authorised use of the land or structure:	Vacant Site
(c) State proposed use(s):	Mixed-Use Development
(d) State nature and extent of any such proposed use(s):	472 no. residential units, residential amenity space, a creche, and a café.
<p>(e) Plans (including a site or layout plan and drawings of floor plans, elevations and sections that comply with the requirements of Article 297 and 298) and other particulars required describing the works proposed should be enclosed with this application:</p> <p>Enclosed: Yes: <input type="checkbox"/> No: <input type="checkbox"/> N/A: <input type="checkbox"/></p>	

19. Social Housing (Part V)

Please tick appropriate box:	Yes	No
(a) Does Part V of the Planning and Development Act 2000 apply to the proposed development?	X	
(b) If the answer to Question 19(A) is “Yes”, are details enclosed as to how the applicant proposes to comply with section 96 of Part V of the Act including, for example— (i) details of such part or parts of the land for the proposed development or is or are specified by the Part V agreement, or houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be transferred to the planning authority, or details of houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be leased to the planning authority, or details of any combination of the foregoing, and	X	
(ii) details of the calculations and methodology for calculating values of land, site costs, normal construction and development costs and profit on those costs and other related costs such as an appropriate share of any common development works as required to comply with the provisions in Part V of the Act, and	X	
(iii) a layout plan showing the location of proposed Part V units in the development?	X	
(c) If the answer to Question 19(A) is “No” by virtue of section 96(13) of the Planning and Development Act 2000, details must be enclosed with this application form indicating the basis on which section 96(13) is considered to apply to the development.		

20. Water Services:

(A) Proposed Source of Water Supply:

Please indicate as appropriate:

(a) Existing Connection: ☐ New Connection: ☒

(b) Public Mains: ☒

Group Water Scheme: ☐ Name of Scheme: _____

Private Well: ☐

Other (please specify): _____

(B) Proposed Wastewater Management / Treatment:

Please indicate as appropriate:

(a) Existing Connection: ☒ New Connection: ☒

(b) Public Sewer: ☒

Conventional septic tank system: ☐

Other on-site treatment system (please specify): _____

Where the disposal of wastewater for the proposed development is other than to a public sewer, provide information on the on-site treatment system proposed and evidence as to the suitability of the site for the system proposed:

(C) Proposed Surface Water Disposal:

Please indicate as appropriate:

(a) Public Sewer/Drain: ☒

Soakpit: ☐

Watercourse: ☐

Other (please specify): _____

(D) Irish Water Requirements:	
<p>Please submit the following information:</p> <p>(a) Where the proposed development has the potential to impact on a public water supply source, irrespective of whether or not a connection to a water/wastewater network is required, this application must be accompanied by evidence of engagement with Irish Water and its outcome.</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p>
<p>(b) A current/valid Confirmation of Feasibility Statement from Irish Water in relation to the proposed development confirming that there is or will be sufficient water network treatment capacity to service the development.</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>See Appendix B</p>
<p>(c) A Statement of Compliance with Irish Water's Standard Details and Codes of Practice for water and/or wastewater infrastructure proposals (designs, layouts, etc.).</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>See Appendix C</p>
<p>(d) An indication of timelines and phasing for water demand or wastewater collection requirements, or both, as appropriate.</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p>
<p>(e) Where the proposed development will impact on assets of Irish Water, details of proposals for protection or diversion of such assets.</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p>

21. Traffic and Transportation

(a) Is a Traffic / Transportation Impact Assessment included with the application, having regard to the relevant Development Plan / Local Area Plan requirements and the Traffic Management Guidelines (DoT / DoEHLG / DTO, 2003)?	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
(b) Is a Travel Plan included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
(c) Is a Road Safety Audit included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]

22. Taking in Charge

Is it intended that any part of the proposed development will be taken in charge by the planning authority?	Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
If the answer is "Yes", please attach site plan clearly showing area(s) intended for taking in charge.	

23. Maps, Plans and Drawings

List in a schedule accompanying this application all maps, plans and drawings enclosed with the application, stating title, scale and number. Please see Appendix A
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24. Application Fee:

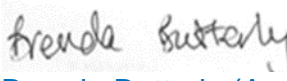
(a) State fee payable for application:	€75,284
(b) Set out basis for calculation of fee:	472 no. units*€130 = €61,360 545sqm*€7.20 = €3,924sqm €10,000 for EIAR
(c) Is the fee enclosed with the application?	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]

25. Universal Design:

Please provide a statement as to how the proposed Strategic Housing Development has sought to comply with the principles of Universal Design (to encourage access and use of the development regardless of age, size, ability or disability). For assistance and general information on such matters please refer for example to the National Disability Authority's "Building for Everyone: A Universal Design Approach" and "Universal Design Guidelines for Homes in Ireland" at www.universaldesign.ie	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] See Architect's Design Statement
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Declaration

I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct and accurate and fully compliant with the requirements of the Planning and Development Act 2000 and Chapter 1 of Part 2 of the Planning and Development (Housing) and Residential Tenancies Act 2016 and the Regulations made thereunder. In this regard, I also hereby declare that, to the best of my knowledge and belief, the copies of the application documents sent to the planning authority, prescribed bodies, etc., and displayed on any website under the applicant's control are identical to the application documents being deposited with An Bord Pleanála.

Signed: (Applicant or Agent as appropriate)	 Brenda Butterly (Agent)
Date:	12/04/2022

26. Contact Details- Not to be Published

Applicant(s):

First Name:	Eastwise Construction Swords Ltd
Surname:	
Address Line 1:	Station Mews
Address Line 2:	Lindsay Grove
Address Line 3:	Glasnevin
Town / City:	Dublin 9
County:	Dublin
Country:	Ireland
Eircode:	D09W8W8
E-mail address (if any):	kieran@eastwise.ie
Primary Telephone Number:	01 443 4442
Other / Mobile Number (if any):	

Where the Applicant(s) is a Company:

Name(s) of Company Director(s):	Kieran Gannon, Gordon Lynch
Company Registration Number (CRO):	655641
Contact Name:	Kieran Gannon,
Primary Telephone Number:	01 443 4442
Other / Mobile Number (if any):	
E-mail address:	kieran@eastwise.ie

Person/Agent (if any) acting on behalf of the Applicant(s):

First Name:	Brenda
Surname:	Butterly
Address Line 1:	22 Wicklow Street
Address Line 2:	
Address Line 3:	
Town / City:	Dublin 2
County:	Dublin
Country:	Ireland
Eircode:	D02 VK22
E-mail address (if any):	brenda@mcgplanning.ie
Primary Telephone Number:	01 284 6464
Other / Mobile Number (if any):	085 822 9829

Person responsible for preparation of maps, plans and drawings:

First Name:	Calogero
Surname:	Marino
Address Line 1:	C+W O'Brien Architects
Address Line 2:	No. 1 Sarsfield Quay
Address Line 3:	
Town / City:	Dublin 7
County:	Dublin
Country:	Ireland
Eircode:	D07 R9FH
E-mail address (if any):	cmarino@cwoarchitects.ie
Primary Telephone Number:	01 518 0170
Other / Mobile Number (if any):	085 723 1272

Contact for arranging entry on site, if required:

Name:	Kieran Gannon,
Mobile Number:	01 443 4442
E-mail address:	kieran@eastwise.ie

Appendix A – List of Enclosures

Cheque
Irish Water Confirmation of Feasibility (Appendix B)
Irish Water Statement of Design Acceptance (Appendix C)
Letter of Consent from Dublin City Council (Appendix D)
Letter of Consent from EW Property (Appendix E)
Go Car Letter of Intent (Appendix F)
EIAR Portal Confirmation (Appendix G)
Part V Pack (Appendix H)
Cat III Design Check Certificate (Appendix I)

McGill Planning Ltd
SHD Application Form
Planning Report including <ul style="list-style-type: none"> - Statement of Consistency - Material Contravention Statement - Response to An Bord Pleanála Opinion
Cover Letter to An Bord Pleanála
Cover Letter to Dublin City Council
Cover Letter to Statutory Consultees
Site Notice
Newspaper Notice
Environmental Impact Assessment <ul style="list-style-type: none"> - Volume 1: Main Statement - Volume 2: Appendices - Volume 3: Non-Technical Summary

C+W O'Brien Architects
Design Statement
Building Life Cycle Report
Schedule of Accommodation
Housing Quality Assessment
Housing Quality Assessment Apartment Block C Part V
Housing Quality Assessment Part V
Part V Application Drawings Documents Register
SHD Planning Application Drawings Documents Register
The following drawings

Number	Drawing Name	Scale	Size
000500	Site Location Map	1:1000	A0
000501	Existing Site/ Site Survey	1:500	A0
000502	Site Plan	1:500	A0
000503	Site Basement Plan	1:500	A0

000504	Basement Plan	1:250	A1
000506	Taking In Charge Diagram	1:1000	A0
000507	Site Layout Phasing Diagram	1:500	A1
000508	Site Plan	1:1000	A1
000509	Developable Area Map	1:1000	A0
000510	Roof Plan	1:250	A0
000515	Site Plan Context	1:500	A0
000600	North Continuous Elevation	1:200	A1
000601	West Continuous Elevation	1:200	A1
000602	South Continuous Elevation	1:200	A1
000603	East Continuous Elevation	1:200	A1
000700	Site Section AA	1:200	A1
000701	Site Section BB	1:200	A1
000702	Site Section CC	1:200	A1
000703	Site Section DD	1:200	A1
000720	Cross Sections	1:200	A1
012500	Block A - Ground Floor GA - 472 Units	1:100	A1
012501	Block A - First Floor GA - 472 Units	1:100	A1
012502	Block A - Second Floor GA - 472 Units	1:100	A1
012503	Block A - Third Floor GA - 472 Units	1:100	A1
012504	Block A - Fourth Floor GA - 472 Units	1:100	A1
012505	Block A - Fifth Floor GA - 472 Units	1:100	A1
012506	Block A - Sixth Floor GA - 472 Units	1:100	A1
012507	Block A - Seventh Floor GA - 472 Units	1:100	A1
012508	Block A - Roof Plan GA - 472 Units	1:100	A1
012520	Block A - East & West Elevation GA - 472 Units	1:100	A1
012521	Block A - North Elevation GA - 472 Units	1:100	A1
012522	Block A - South Elevation GA - 472 Units	1:100	A1
012530	Block A - Section AA & BB GA - 472 Units	1:100	A1
012531	Block A - Section CC GA - 472 Units	1:100	A1
022500	Block B - Ground Floor GA - 472 Units	1:100	A1
022501	Block B - First Floor GA - 472 Units	1:100	A1
022502	Block B - Second Floor GA - 472 Units	1:100	A1

022503	Block B - Third Floor GA - 472 Units	1:100	A1
022504	Block B - Fourth Floor GA - 472 Units	1:100	A1
022505	Block B - Fifth Floor GA - 472 Units	1:100	A1
022506	Block B - Roof Plan GA - 472 Units	1:100	A1
022520	Block B - North & South Elevation GA - 472 Units	1:100	A1
022521	Block B - West Elevation GA - 472 Units	1:100	A1
022522	Block B - East Elevation GA - 472 Units	1:100	A1
022530	Block B - Section AA GA - 472 Units	1:100	A1
022531	Block B - Section BB & CC GA - 472 Units	1:100	A1
032500	Block C - Ground Floor GA - 472 Units	1:100	A1
032501	Block C - First Floor GA - 472 Units	1:100	A1
032502	Block C - Second Floor GA - 472 Units	1:100	A1
032503	Block C - Third Floor GA - 472 Units	1:100	A1
032504	Block C - Fourth Floor GA - 472 Units	1:100	A1
032505	Block C - Fifth Floor GA - 472 Units	1:100	A1
032506	Block C - Roof Plan GA - 472 Units	1:100	A1
032520	Block C - North Elevation GA - 472 Units	1:100	A1
032521	Block C - South Elevation GA - 472 Units	1:100	A1
032522	Block C - East & West Elevation GA - 472 Units	1:100	A1
032530	Block C - Section AA GA - 472 Units	1:100	A1
032531	Block C - Section BB GA - 472 Units	1:100	A1
032532	Block C - Section CC & DD GA - 472 Units	1:100	A1
042500	Block D - Ground Floor GA - 472 Units	1:100	A1
042501	Block D - First Floor GA - 472 Units	1:100	A1
042502	Block D - Second Floor GA - 472 Units	1:100	A1
042503	Block D - Third Floor GA - 472 Units	1:100	A1
042504	Block D - Fourth Floor GA - 472 Units	1:100	A1
042505	Block D - Fifth Floor GA - 472 Units	1:100	A1
042506	Block D - Sixth Floor GA - 472 Units	1:100	A1
042507	Block D - Seventh Floor GA - 472 Units	1:100	A1
042508	Block D - Roof Plan GA - 472 Units	1:100	A1
042520	Block D - North & South Elevation GA - 472 Units	1:100	A1

042521	Block D - West Elevation GA - 472 Units	1:100	A1
042522	Block D - East Elevation GA - 472 Units	1:100	A1
042530	Block D - Section AA GA - 472 Units	1:100	A1
042531	Block D - Section BB & CC GA - 472 Units	1:100	A1
042532	Block D - Section DD GA - 472 Units	1:100	A1
052500	Block E - Ground Floor GA - 472 Units	1:100	A1
052501	Block E - First Floor GA - 472 Units	1:100	A1
052502	Block E - Second Floor GA - 472 Units	1:100	A1
052503	Block E - Third Floor GA - 472 Units	1:100	A1
052504	Block E - Fourth Floor GA - 472 Units	1:100	A1
052505	Block E - Fifth Floor GA - 472 Units	1:100	A1
052506	Block E - Sixth Floor GA - 472 Units	1:100	A1
052507	Block E - Seventh Floor GA - 472 Units	1:100	A1
052508	Block E - Roof Plan GA - 472 Units	1:100	A1
052520	Block E - West Elevation GA - 472 Units	1:100	A1
052521	Block E - East Elevation GA - 472 Units	1:100	A1
052522	Block E - North & South Elevation GA - 472 Units	1:100	A1
052530	Block E - Section AA GA - 472 Units	1:100	A1
052531	Block E - Section BB GA - 472 Units	1:100	A1
052532	Block E - Section CC & DD GA - 472 Units	1:100	A1
062500	Block F - Ground Floor GA - 472 Units	1:100	A1
062501	Block F - First Floor GA - 472 Units	1:100	A1
062502	Block F - Second Floor GA - 472 Units	1:100	A1
062503	Block F - Third Floor GA - 472 Units	1:100	A1
062504	Block F - Fourth Floor GA - 472 Units	1:100	A1
062505	Block F - Fifth Floor GA - 472 Units	1:100	A1
062506	Block F - Roof Plan GA - 472 Units	1:100	A1
062520	Block F - North & South Elevation GA - 472 Units	1:100	A1
062522	Block F - West Elevation GA - 472 Units	1:100	A1
062521	Block F - East Elevation GA - 472 Units	1:100	A1
062530	Block F - Section AA GA - 472 Units	1:100	A1
062531	Block F - Section BB GA - 472 Units	1:100	A1

062532	Block F - Section CC & DD GA - 472 Units	1:100	A1
072500	Block G - Ground Floor GA - 472 Units	1:100	A1
072501	Block G - First Floor GA - 472 Units	1:100	A1
072502	Block G - Second Floor GA - 472 Units	1:100	A1
072503	Block G - Third Floor GA - 472 Units	1:100	A1
072504	Block G - Fourth Floor GA - 472 Units	1:100	A1
072505	Block G - Fifth Floor GA - 472 Units	1:100	A1
072506	Block G - Roof Plan GA - 472 Units	1:100	A1
072520	Block G - North & South Elevation GA - 472 Units	1:100	A1
072521	Block G - East Elevation GA - 472 Units	1:100	A1
072522	Block G - West Elevation GA - 472 Units	1:100	A1
072530	Block G - Section AA GA - 472 Units	1:100	A1
072531	Block G - Section BB & CC GA - 472 Units	1:100	A1
072532	Block G - Section DD GA - 472 Units	1:100	A1
006001	Apartment Type S1	1:100	A3
006002	Apartment Type S2	1:100	A3
006003	Apartment Type P1	1:100	A3
006004	Apartment Type P2	1:100	A3
006005	Apartment Type Q1	1:100	A3
006006	Apartment Type Q2	1:100	A3
006007	Apartment Type Q3	1:100	A3
006008	Apartment Type Q4	1:100	A3
006009	Apartment Type A1	1:100	A3
006010	Apartment Type B1	1:100	A3
006011	Apartment Type C1	1:100	A3
006012	Apartment Type C2	1:100	A3
006013	Apartment Type D1	1:100	A3
006014	Apartment Type D2	1:100	A3
006015	Apartment Type D3	1:100	A3
006016	Apartment Type K1	1:100	A3
006017	Apartment Type O1	1:100	A3
006018	Apartment Type E1	1:100	A3
006019	Apartment Type E2	1:100	A3

000505	Site Plan - Part V	1:500	A1
032550	Block C - Ground Floor GA 472 Units - Part V	1:100	A1
032551	Block C - First Floor GA 472 Units - Part V	1:100	A1
032552	Block C - Second Floor GA 472 Units - Part V	1:100	A1
032553	Block C - Third Floor GA 472 Units - Part V	1:100	A1
032554	Block C - Fourth Floor GA 472 Units - Part V	1:100	A1
032555	Block C - Fifth Floor GA 472 Units - Part V	1:100	A1

Parkhood Chartered Landscape Architects		
Landscape Design Strategy		
Landscape Management & Maintenance Plan		
The following drawings		
Drawing Number	Drawing Title	Scale
7335-L-0002	Site Assets & Constraints Sheet 1 of 1	1:500
7335-L-2001	Context Masterplan	1:500
7335-L-2002	Communal Open Space Plan Sheet 1 of 1	1:200
7335-L-2003	Public Open Space Plan Sheet 1 of 1	1:200
7335-L-2004	Landscape Proposals - Plaza Sheet 1 of 1	1:100
7335-L-2005	Proposed Landscape Masterplan	1:500
7335-L-2006	Play Areas and Amenity Landscape Plan Sheet 1 of 1	1:100
7335-L-2007	Landscape Sections - Sheet 1 of 4	1:200
7335-L-2008	Landscape Sections - Sheet 2 of 4	1:200
7335-L-2009	Public and Communal Open Space Calculations	1:200
7335-L-2010	Landscape Proposals - Roof Terraces	1:50
7335-L-2011	Landscape Sections - Sheet 3 of 4	1:200
7335-L-2012	Ground Floor Landscape Plan	1:500
7335-L-2013	Landscape Sections - Sheet 4 of 4	1:200

JOR Consulting Civil & Structural Engineers		
Engineering Services Report		
Foul & Surface Water Manhole/Longsection Booklet		
The following drawings		

Drawing Title	Dwg. / Doc No.	Size
Site Services Foul Drainage Layout	HARTPL-JOR-SM-ZZ-DR-C-0001	A0@1:500
Site Services Surface Water Drainage Layout	HARTPL-JOR-SM-ZZ-DR-C-0002	A0@1:500
Site Services Watermain Layout	HARTPL-JOR-SM-ZZ-DR-C-0003	A0@1:500
Typical Drainage Details - Foul	HARTPL-JOR-SM-ZZ-DR-C-0004	As shown
Typical Drainage Details - Storm	HARTPL-JOR-SM-ZZ-DR-C-0006	As shown
Attenuation Tank Details – Tanks 1, 2 & 3 Typical Concrete Tank	HARTPL-JOR-SM-ZZ-DR-C-0007	As shown
SUDS Features Layout Plan	HARTPL-JOR-SM-ZZ-DR-C-0008	A0@1:500
Site Services Roads Layout	HARTPL-JOR-SM-ZZ-DR-C-0009	A1@1:500
Road Longsections	HARTPL-JOR-SM-ZZ-DR-C-0010	As shown
Road Construction Details	HARTPL-JOR-SM-ZZ-DR-C-0011	As shown
Typical Drainage Details - Basement	HARTPL-JOR-SM-ZZ-DR-C-0015	As shown
Proposed Surface Water drainage details for podium slab	HARTPL-JOR-SM-ZZ-DR-C-0016	As shown
Typical Foul Manhole Details	HARTPL-JOR-SM-ZZ-DR-C-0017	As shown
Typical Surface Water Manhole Details	HARTPL-JOR-SM-ZZ-DR-C-0018	As shown
Site Services Basement Drainage Layout	HARTPL-JOR-BT-B1-DR-C-0001	A1 @1:500
Foul & Surface Water Slung Drainage layout	HARTPL-JOR-BT-B1-DR-C-0004	A1 @1:250
Site Services Existing & Proposed Foul drainage overview plan	HARTPL-JOR-SM-ZZ-DR-C-0019	A0@1:1000

Hydrocare Environmental Ltd

Site Specific Flood Risk Assessment

AECOM

Traffic and Transport Assessment Stage 3 Submission

Mobility Management Plan

Car Parking (Management) Strategy

Response to ABP Opinion and DCC comments on Pre Application Consultations

Site Servicing and Operation Plan / Operational Service Management Plan (including Swept Path Analysis)

Acoustic Design Statement

Quality Audit Report

Quality Audit – Additional Information/Responses from Designer

Drawing Number	Drawing Title	Scale
PR379360-ACM-XX-XX-DR-CE-20-0001	Proposed General Arrangement (Bus Connects)	As shown
PR379360-ACM-XX-XX-DR-CE-20-0003	Taking in Charge Drawing	As shown
PR379360-ACM-XX-XX-DR-CE-10-0001	Proposed General Arrangement (Existing Kerblines)	As shown
PR379360-ACM-XX-XX-DR-CE-10-0101	Visibility Splay	As shown
PR379360-ACM-XX-XX-DR-CE-10-0102	Autotrack Analysis of Proposed Site Layout with Refuse Vehicle	As shown
PR379360-ACM-XX-XX-DR-CE-10-0103	Autotrack Analysis of Proposed Site Layout with Emergency Vehicle	As shown
PR379360-ACM-XX-XX-DR-CE-10-0103	Autotrack Analysis of Proposed Site Layout with Bus Connects	As shown

PUNCH Consulting Engineers

Outline of Proposed Structure

Construction Environmental Management Plan

Drawing Number	Drawing Title	Scale
HARTPL-PUNCH-SM-ZZ-DR-S-0001	Site Plan	As Indicated
HARTPL-PUNCH-SM-ZZ-DR-S-0002	Site Sections Sheet 1	As Indicated
HARTPL-PUNCH-SM-ZZ-DR-S-0003	Site Sections Sheet 2	As Indicated

J M McConville and Associates Arboricultural Associates		
Arboricultural Assessment		
Drawing Number	Drawing Title	Scale
4367/22/002	Tree Retention Plan	1:500
4367/22/001	Tree Survey Plan	1:500

AWN Consulting		
Resource and Waste Management Plan		
Operational Waste Management Plan		

McElligot Consulting Engineers		
Public Lighting Report		
Energy Statement		
Drawing Number	Drawing Title	Scale
E-040	Public Lighting Services Layout	1:50

Avison Young		
Daylight & Sunlight Report		

JBA Consulting		
Appropriate Assessment Screening Report		

AGL Consulting Geotechnical Engineers		
Tunnel Impact Assessment		

Modelworks		
Verified Photomontages and CGIs		

Fallon Design M&E Engineering		
Flood Lighting Report		

Appendix B – Irish Water Confirmation of Feasibility

Fergus Lynch
Station Mews,
Lindsay Grove,
Botanic,
Dublin 9.

17 February 2022

Uisce Éireann
Bosca OP 448
Oifig Sheachadta na
Cathrach Theas
Cathair Chorcaí

Irish Water
PO Box 448,
South City
Delivery Office,
Cork City.

www.water.ie

Re: CDS19007964 pre-connection enquiry - Subject to contract | Contract denied

Connection for Multi/Mixed Use Development of 472 No. Residential unit(s), 1 No. café and 1 No. creche at the Residential Development, Hartfield Place, Swords Road, Dublin 9.

Dear Sir/Madam,

Irish Water has reviewed your pre-connection enquiry in relation to a Water & Wastewater connection at Residential Development, Swords Road, Dublin 9 (the **Premises**). Based upon the details you have provided with your pre-connection enquiry and on our desk top analysis of the capacity currently available in the Irish Water network(s) as assessed by Irish Water, we wish to advise you that your proposed connection to the Irish Water network(s) can be facilitated at this moment in time.

SERVICE	OUTCOME OF PRE-CONNECTION ENQUIRY <u>THIS IS NOT A CONNECTION OFFER. YOU MUST APPLY FOR A CONNECTION(S) TO THE IRISH WATER NETWORK(S) IF YOU WISH TO PROCEED.</u>
Water Connection	Feasible Subject to Upgrade
Wastewater Connection	Feasible Subject to Upgrade
SITE SPECIFIC COMMENTS	
Water Connection	<p>The Development should be connected to the existing 300 mm DI main in Collins Avenue with a new pipe (200mm ID and approximately 180m in length).</p> <p>Installation of a bulk meter at the connection point of the Development is also required.</p> <p>Irish Water currently does not have any plans to extend or commence upgrade works to its network in this area. Should you wish to progress with the connection, the extension works will be calculated in a connection offer fee for the Development.</p>
Wastewater Connection	<p>In order to serve the proposed development, there may be local network upgrades required of circa 500m in length on High Park and Grace Park Road (the outline of the area is shown in the extract below). The upgrade size and or remedial works will be determined as part of the connection application phase. This local network does not have a combined sewer overflow and will not require 3rd party consents. There will be a requirement</p>

for a Road Opening Licence to be arranged by Irish Water upon payment of a connection offer fee for the development.

Strategic Housing Development

Irish Water notes that the scale of this development dictates that it is subject to the Strategic Housing Development planning process. Therefore:

- A. In advance of submitting your full application to An Bord Pleanála for assessment, you must have reviewed this development with Irish Water and received a Statement of Design Acceptance in relation to the layout of water and wastewater services.
- B. In advance of submitting this development to An Bord Pleanála for full assessment, the Developer has carried out CCTV investigations of the local network and the results of this have been used to determine the available capacity and the full extent of any upgrades which may be required to be completed to Irish Water infrastructure.

The design and construction of the Water & Wastewater pipes and related infrastructure to be installed in this development shall comply with the Irish Water Connections and Developer Services Standard Details and Codes of Practice that are available on the Irish Water website. Irish Water reserves the right to supplement these requirements with Codes of Practice and these will be issued with the connection agreement.

The map included below outlines the current Irish Water infrastructure adjacent to your site:



Reproduced from the Ordnance Survey of Ireland by Permission of the Government. License No. 3-3-34

Whilst every care has been taken in its compilation Irish Water gives this information as to the position of its underground network as a general guide only on the strict understanding that it is based on the best available information provided by each Local Authority in Ireland to Irish Water. Irish Water can assume no responsibility for and

give no guarantees, undertakings or warranties concerning the accuracy, completeness or up to date nature of the information provided and does not accept any liability whatsoever arising from any errors or omissions. This information should not be relied upon in the event of excavations or any other works being carried out in the vicinity of the Irish Water underground network. The onus is on the parties carrying out excavations or any other works to ensure the exact location of the Irish Water underground network is identified prior to excavations or any other works being carried out. Service connection pipes are not generally shown but their presence should be anticipated.

General Notes:

- 1) The initial assessment referred to above is carried out taking into account water demand and wastewater discharge volumes and infrastructure details on the date of the assessment. **The availability of capacity may change at any date after this assessment.**
- 2) This feedback does not constitute a contract in whole or in part to provide a connection to any Irish Water infrastructure. All feasibility assessments are subject to the constraints of the Irish Water Capital Investment Plan.
- 3) The feedback provided is subject to a Connection Agreement/contract being signed at a later date.
- 4) A Connection Agreement will be required to commencing the connection works associated with the enquiry this can be applied for at <https://www.water.ie/connections/get-connected/>
- 5) A Connection Agreement cannot be issued until all statutory approvals are successfully in place.
- 6) Irish Water Connection Policy/ Charges can be found at <https://www.water.ie/connections/information/connection-charges/>
- 7) Please note the Confirmation of Feasibility does not extend to your fire flow requirements.
- 8) Irish Water is not responsible for the management or disposal of storm water or ground waters. You are advised to contact the relevant Local Authority to discuss the management or disposal of proposed storm water or ground water discharges
- 9) To access Irish Water Maps email datarequests@water.ie
- 10) All works to the Irish Water infrastructure, including works in the Public Space, shall have to be carried out by Irish Water.

If you have any further questions, please contact Paul Fuller from the design team on (087) 718-6226 or email PFuller@water.ie For further information, visit **www.water.ie/connections**.

Yours sincerely,



Yvonne Harris

Head of Customer Operations

Appendix C – Irish Water Statement of Design Acceptance

Damien O'Brien
JOR Consulting Engineers
Unit 1
St. Therese's Place
Flower Hill
Navan, Co Meath
C15X6CP

Uisce Éireann
Bosca OP 448
Oifig Sheachadta na
Cathrach Theas
Cathair Chorcaí

Irish Water
PO Box 448,
South City
Delivery Office,
Cork City.

www.water.ie

12 February 2021

**Re: Design Submission for Residential Development, Swords Road, Dublin 9 (the "Development")
(the "Design Submission") / Connection Reference No: CDS19007964**

Dear Damien O'Brien,

Many thanks for your recent Design Submission.

We have reviewed your proposal for the connection(s) at the Development. Based on the information provided, which included the documents outlined in Appendix A to this letter, Irish Water has no objection to your proposals.

This letter does not constitute an offer, in whole or in part, to provide a connection to any Irish Water infrastructure. Before you can connect to our network you must sign a connection agreement with Irish Water. This can be applied for by completing the connection application form at www.water.ie/connections. Irish Water's current charges for water and wastewater connections are set out in the Water Charges Plan as approved by the Commission for Regulation of Utilities (CRU) (https://www.cru.ie/document_group/irish-waters-water-charges-plan-2018/).

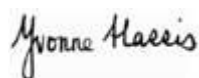
You the Customer (including any designers/contractors or other related parties appointed by you) is entirely responsible for the design and construction of all water and/or wastewater infrastructure within the Development which is necessary to facilitate connection(s) from the boundary of the Development to Irish Water's network(s) (the "**Self-Lay Works**"), as reflected in your Design Submission. Acceptance of the Design Submission by Irish Water does not, in any way, render Irish Water liable for any elements of the design and/or construction of the Self-Lay Works.

If you have any further questions, please contact your Irish Water representative:

Name: Dario Alvarez

Email: dalvarez@water.ie

Yours sincerely,



Yvonne Harris
Head of Customer Operations

Appendix A

Document Title & Revision

- [HARTPL-JOR-SM-ZZ-DR-C-0003-C03 - (Watermain Layout)]
- [HARTPL-JOR-SM-ZZ-M2-C-0001-C03 - (Foul Layout)]
- [Foul Long sections_High Park Outfall_R02]

Standard Details/Code of Practice Exemption:

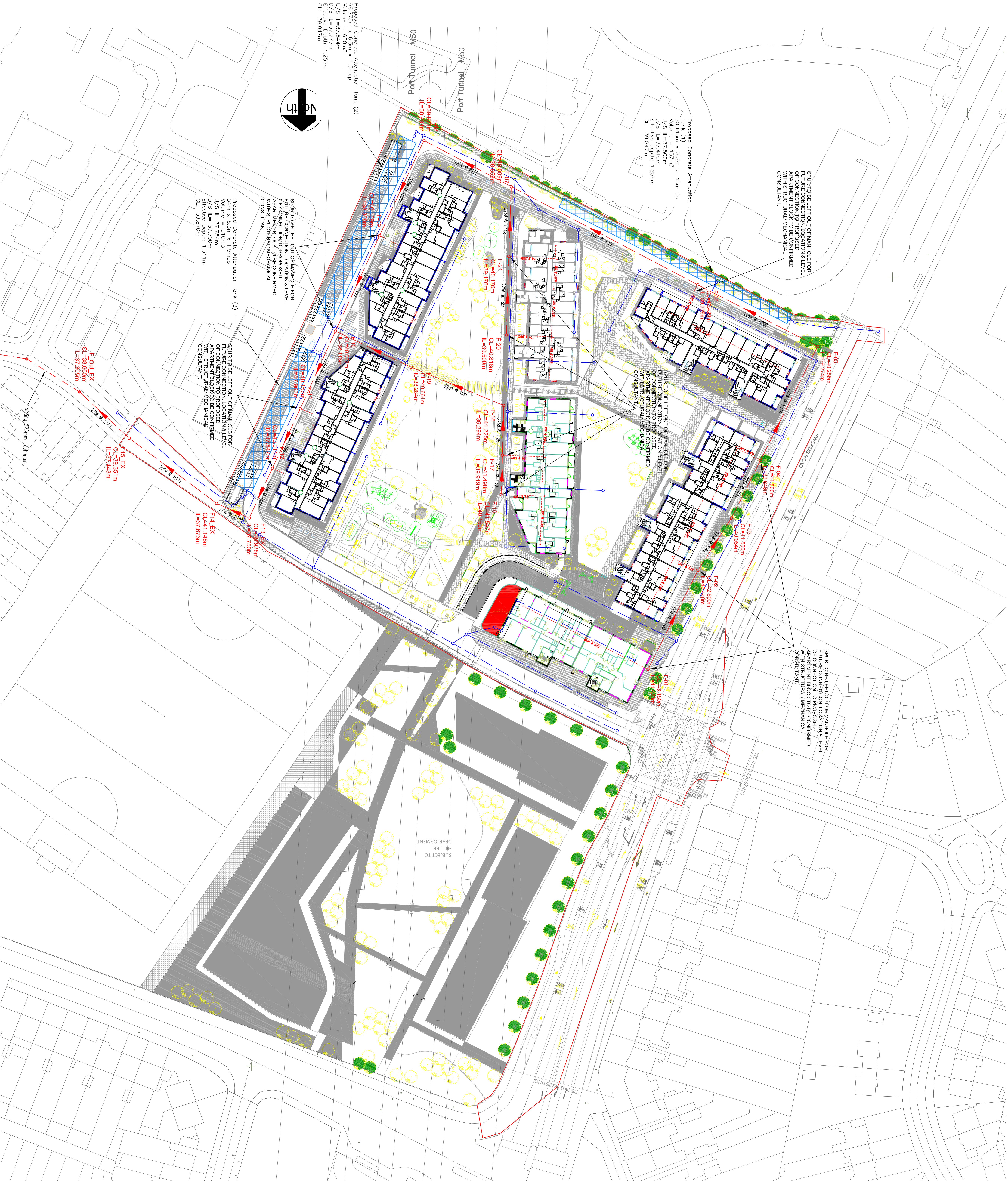
While Irish Water notes that the water and wastewater services infrastructure will remain private and not be vested, we have the following comments:

- **It is recommended that the foul sewer network and watermain are located at minimum of 3 m clearance distance from the building structure.**

For further information, visit www.water.ie/connections

Notwithstanding any matters listed above, the Customer (including any appointed designers/contractors, etc.) is entirely responsible for the design and construction of the Self-Lay Works. Acceptance of the Design Submission by Irish Water will not, in any way, render Irish Water liable for any elements of the design and/or construction of the Self-Lay Works.

- NOTES:
1. OUTLINE IS INDICATIVE ONLY. FINAL POSITION OF SERVICES TO BE CONFIRMED ON SITE.
 2. ALL WASTEWATER WORKS TO BE IN ACCORDANCE WITH IRISH WATER WASTEWATER CODE OF PRACTICE AND IRISH WATERS WASTEWATER INFRASTRUCTURE STANDARD DETAILS.
 3. WASTEWATER INFRASTRUCTURE STANDARD DETAILS WITH GREATER DRAINAGE CAPACITY SHALL BE DESIGNED BY CONSULTANT.
 4. LOCAL FOU DRAINAGE LAYOUT WHICH WILL CONNECT THE APARTMENT BLOCKS TO THE FOU MAIN TO BE CONFIRMED BY M&E CONTRACTOR.
 5. WHERE 75mm COVER CANNOT BE ACHIEVED, THE PIPE SHALL HAVE A CONCRETE SURROUND AS PER IRISH WATER WASTEWATER CODE OF PRACTICE MINIMUM COVER OF 750MM.
 6. ALL PIPE CHAMBERS AND RISING MAINS TO BE DESIGNED BY CONSULTANT.
 7. LOCAL FOU DRAINAGE LAYOUT WHICH WILL CONNECT THE APARTMENT BLOCKS TO THE FOU MAIN TO BE CONFIRMED BY M&E CONTRACTOR.
 8. ONCE INTERIOR BUILDING DRAINAGE IS CONFIRMED, THE FOU MAIN TO BE CONFIRMED BY M&E CONTRACTOR.



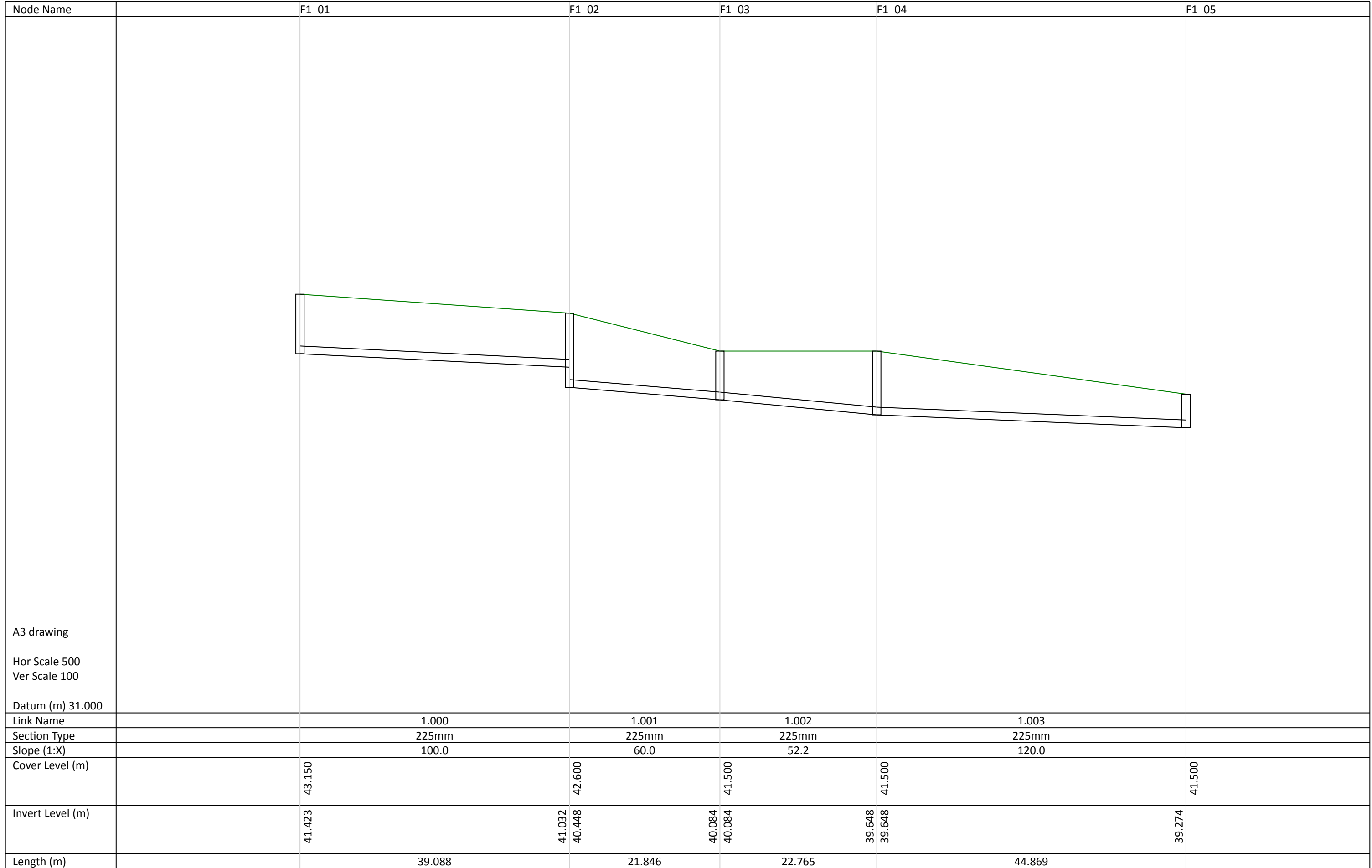
- NOTES
- Existing Foul Main
 - Existing Foul Manhole
 - Proposed Foul Drainage
 - Proposed Foul Manhole
 - Proposed Slung Foul Drainage
 - Proposed Surface Water Manhole
 - Proposed Surface Water Drainage
 - Proposed Attenuation tanks

REV	DATE	DETAILS
C03	11/10/21	Issued for SHD Application

ior Joseph O'Reilly
Consulting Civil & Structural Engineers
Tel: 046 9077032 Fax: 046 9077932
Email: m@ior.ie Web: www.ior.ie
Unit 1, St. Theresa's Place, Flowerhill, Navan, Co. Meath

CLIENT	TITLE
Eastwise Construction Ltd	Foul Drainage Layout
PROJECT	Scale
Hartfield Place SHD	1:500 & A6
300m Road, Whitehall, Dublin 9	DATE
	10/10/21
	DRAWN BY
	CHKD BY
	REV
	C03

ISSUED FOR PLANNING

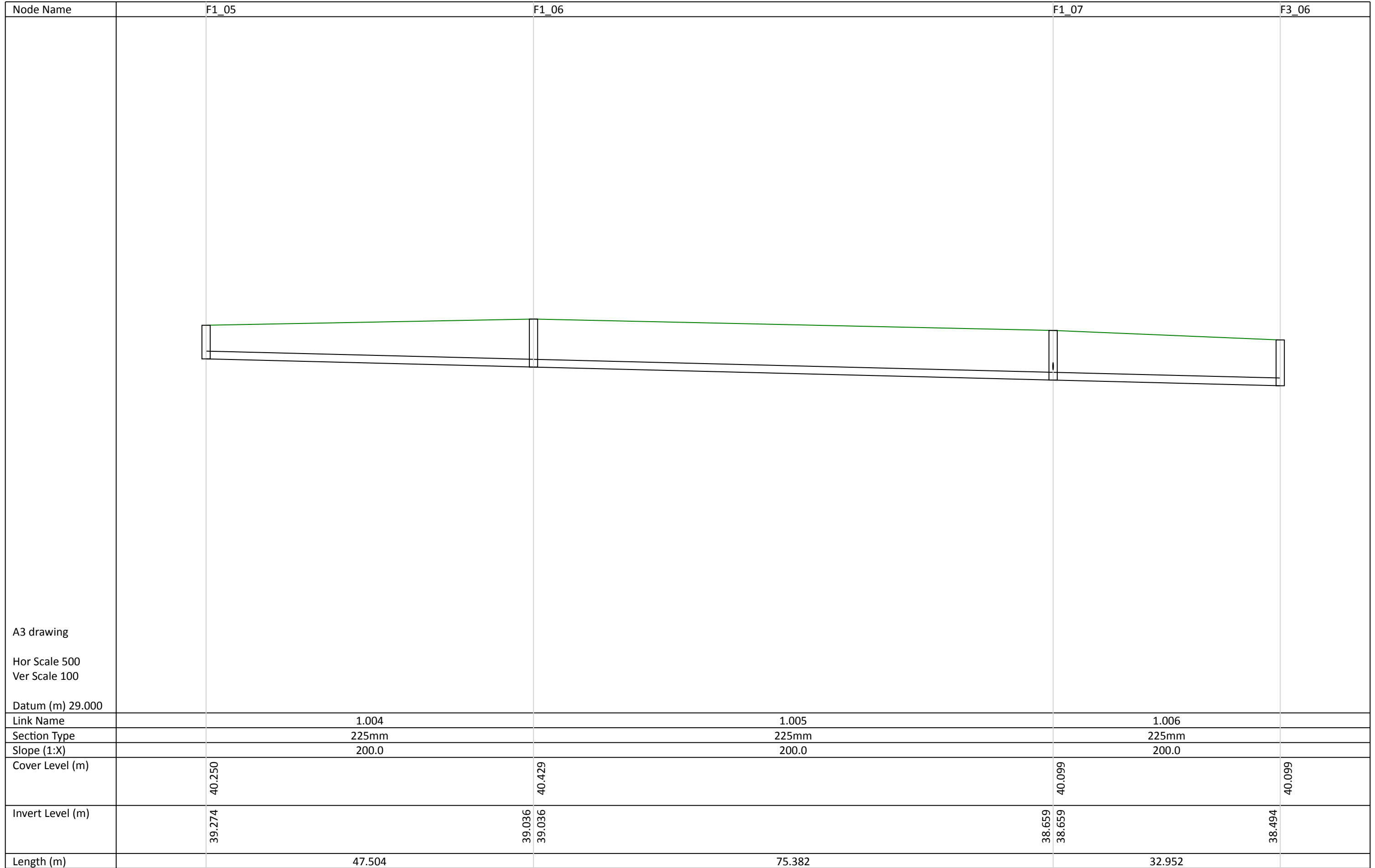




Joseph O'Reilly Consulting
Unit 1 St. Therese's Place
Flower Hill,
Navan, Co. Meath

File: L20-01 Sword R26.pfd
Network: Foul_High Park Outfall
Damien O'Brien
27/01/2021

Page 2
High Park Foul Outfall
Hartfield Place
Whitehall, Swords Rd, Dublin

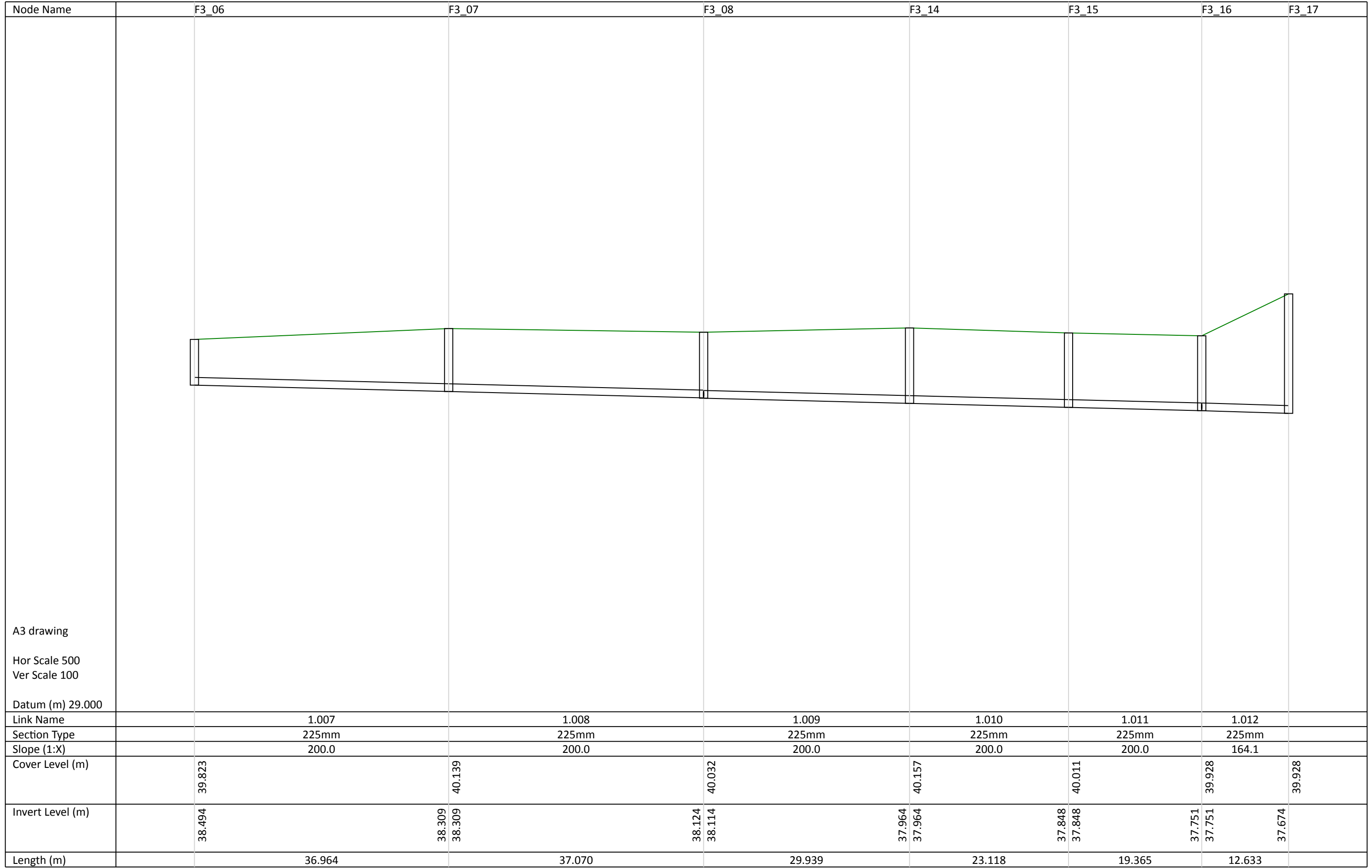




Joseph O'Reilly Consulting
Unit 1 St. Therese's Place
Flower Hill,
Navan, Co. Meath

File: L20-01 Sword R26.pfd
Network: Foul_High Park Outfall
Damien O'Brien
27/01/2021

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High Park Foul Outfall
Hartfield Place
Whitehall, Swords Rd, Dublin





Joseph O'Reilly Consulting
Unit 1 St. Therese's Place
Flower Hill,
Navan, Co. Meath

File: L20-01 Sword R26.pfd
Network: Foul_High Park Outfall
Damien O'Brien
27/01/2021

Page 4
High Park Foul Outfall
Hartfield Place
Whitehall, Swords Rd, Dublin

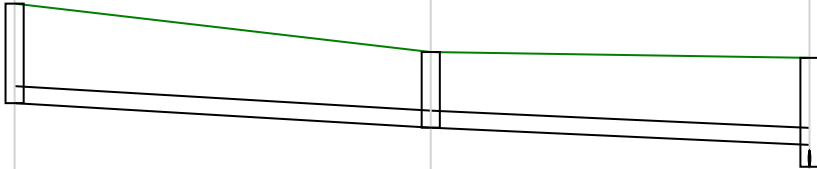
Node Name	F3_17	F3_18	F_Out
<div><div>A3 drawing</div><div>Hor Scale 500 Ver Scale 100</div><div>Datum (m) 29.000</div></div>			
Link Name		1.013	1.014
Section Type		225mm	225mm
Slope (1:X)		170.6	167.2
Cover Level (m)		41.146	39.351
Invert Level (m)		37.674	37.449
Length (m)		38.377	23.905



Joseph O'Reilly Consulting
Unit 1 St. Therese's Place
Flower Hill,
Navan, Co. Meath

File: L20-01 Sword R26.pfd
Network: Foul_High Park Outfall
Damien O'Brien
27/01/2021

Page 5
High Park Foul Outfall
Hartfield Place
Whitehall, Swords Rd, Dublin

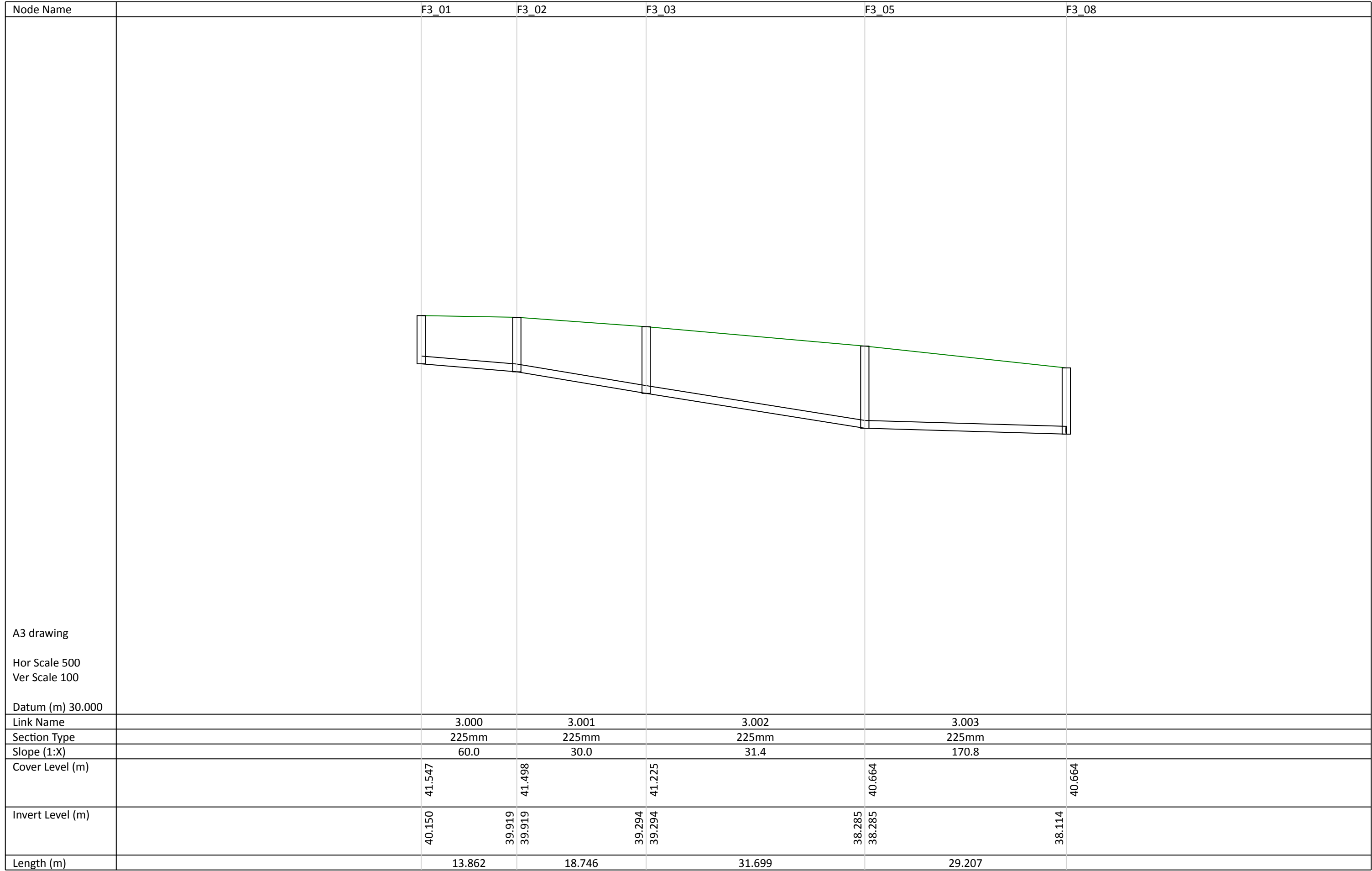
Node Name	F2_01	F2_02	F1_07
<div><div>A3 drawing</div><div>Hor Scale 500 Ver Scale 100</div><div>Datum (m) 30.000</div></div> 			
Link Name	2.000	2.001	
Section Type	225mm	225mm	
Slope (1:X)	85.0	110.0	
Cover Level (m)	40.816	40.176	40.176
Invert Level (m)	39.500	39.176	38.948
Length (m)	27.525	25.050	



Joseph O'Reilly Consulting
Unit 1 St. Therese's Place
Flower Hill,
Navan, Co. Meath

File: L20-01 Sword R26.pfd
Network: Foul_High Park Outfall
Damien O'Brien
27/01/2021

Page 6
High Park Foul Outfall
Hartfield Place
Whitehall, Swords Rd, Dublin





Joseph O'Reilly Consulting
Unit 1 St. Therese's Place
Flower Hill,
Navan, Co. Meath

File: L20-01 Sword R26.pfd
Network: Foul_High Park Outfall
Damien O'Brien
27/01/2021

Page 7
High Park Foul Outfall
Hartfield Place
Whitehall, Swords Rd, Dublin

Node Name	F3_09	F3_11	F3_12	F3_13	F3_16
<div>A3 drawing</div> <div>Hor Scale 500 Ver Scale 100</div> <div>Datum (m) 30.000</div>					
Link Name	4.000				
Section Type	225mm				
Slope (1:X)	149.1				
Cover Level (m)	41.583	40.688	40.411	40.089	40.089
Invert Level (m)	38.665	38.375	38.256	38.095	37.757
Length (m)	43.240	6.409	22.850	8.434	

Appendix D – Letter of Consent from Dublin City Council



Comhairle Cathrach
Bhaile Átha Cliath
Dublin City Council

Environment and Transportation Department,
Civic Offices, Wood Quay, Dublin 8

Roinn Comhshaoil agus Iompair, Oifigí na Cathrach
An Ché Adhmaid, Baile Átha Cliath 8
T.(01) 2222046 E: transportplanning@dublincity.ie

Brenda Butterly
McGill Planning,
22 Wicklow Street,
Dublin 2

March 29th 2022

Re: Letter of Consent to Planning Application

Site: Strategic Housing Development Application for a Mixed Use Residential Development on a site on Swords Road, Whitehall, Dublin 9.

To Whom It May Concern,

I refer to the above intended planning application, the site of which includes lands in the control of Dublin City Council, specifically lands for which improvements are proposed, including those requested by Irish Water and as indicated by the red on the attached drawing (HARTPL-CWO-SM-00-DR-A-000501).

I wish to confirm that the City Council has no objection to the inclusion of these lands for the purpose of making a Strategic Housing Development planning application to An Bord Pleanála. This is without prejudice to the outcome of the planning application process.

In the event that planning permission is granted and the development requires acquisition of Dublin City Council property including air rights, disposal will be subject to terms and conditions agreed with the Chief Valuer's Office. Any disposal of Dublin City Council property is also subject to Council approval under Section 183 of the Local Government Act 2001.

Yours faithfully,

Dermot Collins

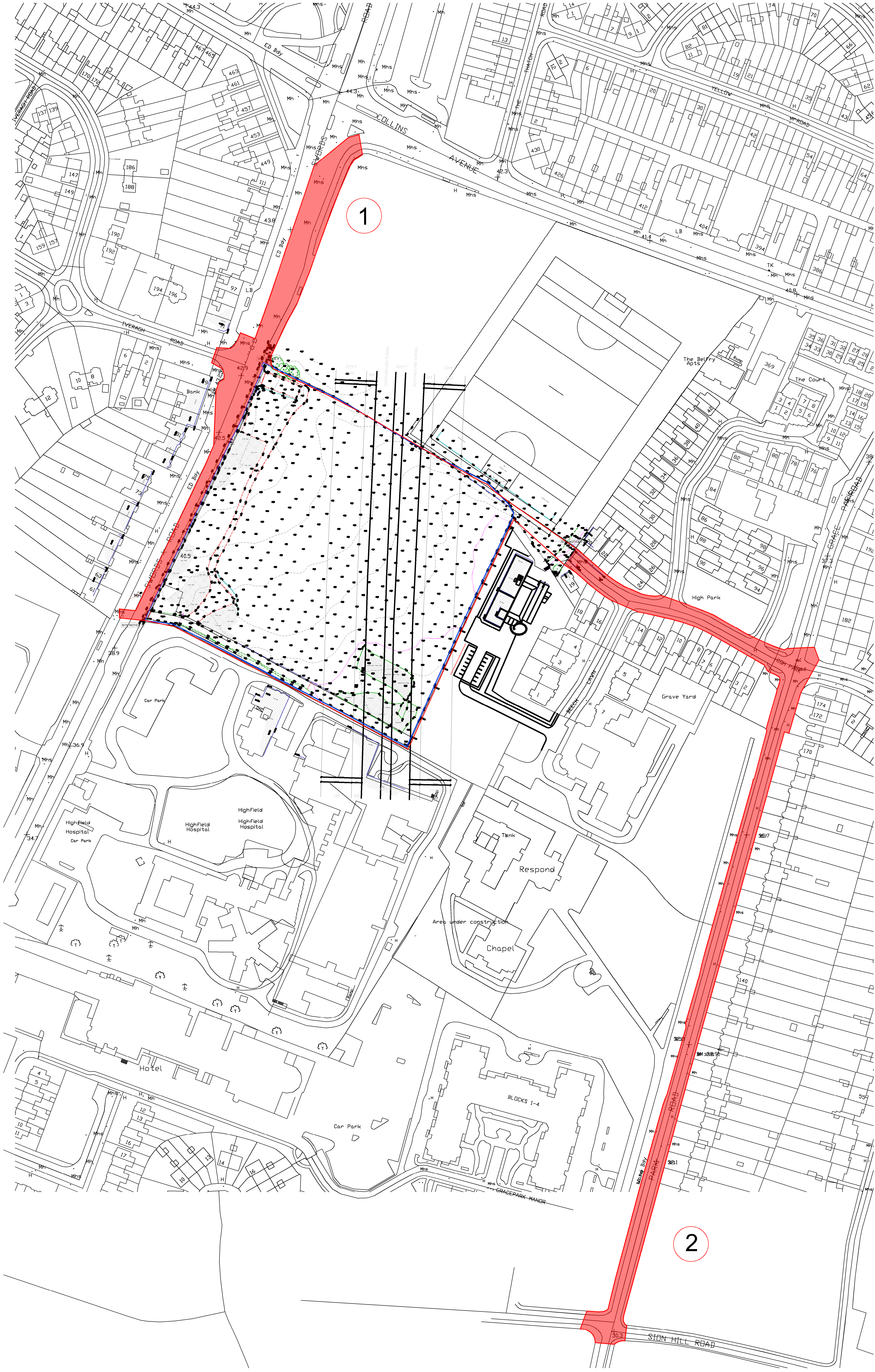
Executive Manager

Ceannoifig, Oifigí na Cathrach, An Ché Adhmaid, Baile Átha Cliath 8. Éire
Head Office, Civic Offices, Wood Quay, Dublin 8, Ireland

T. 01 222 2222

www.dublincity.ie

DESIGN INTENT
DRAWING



1 Existing Site/ Site Survey
1:500

LEGEND:

APPLICATION BOUNDARY	OS MAP REF: 3198-01, 3198-02, 3198-03, 3198-04
DEVELOPABLE AREA	OS MAP REF: 3198-01, 3198-02, 3198-03, 3198-04
ADDITIONAL PARCELS OF LAND SOUGHT TO BE INCLUDED IN PLANNING APPLICATION	OS MAP REF: 3198-01, 3198-02, 3198-03, 3198-04

Rev	Date	Description	Issued By
-----	------	-------------	-----------

Project Stage

PLANNING

Client:

Eastwise Construction Limited

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

Existing Site/ Site Survey

Drawn	Checked	Paper Size	Scale	Date
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DP	CM	A0	1:1000 @ A0	Mar. 2022
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Project No.	Drawing No.	Classification	Revision
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HARTPL	000501		P01
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File Name

HARTPL-CWO-SM-00-DR-A-000501

Status

S2-Suitable For Information

CWO O'BRIEN ARCHITECTS

No. 1 Sarsfield Quay, Dublin 7, D07 R0FH t: 01 518 0170 e: admin@cwoarchitects.ie Dublin Cork Galway London UK & Europe + www.cwoarchitects.ie

Please consider the environment before printing this sheet

Appendix E – Letter of Consent from EW Property

To Whom It May Concern

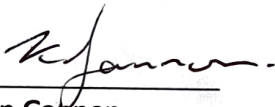
02nd March 2022

RE: HARTFIELD PLACE, SWORDS ROAD, WHITEHALL – HARTFIELD PLACE SHD PLANNING APPLICATION

Dear Sir / Madam

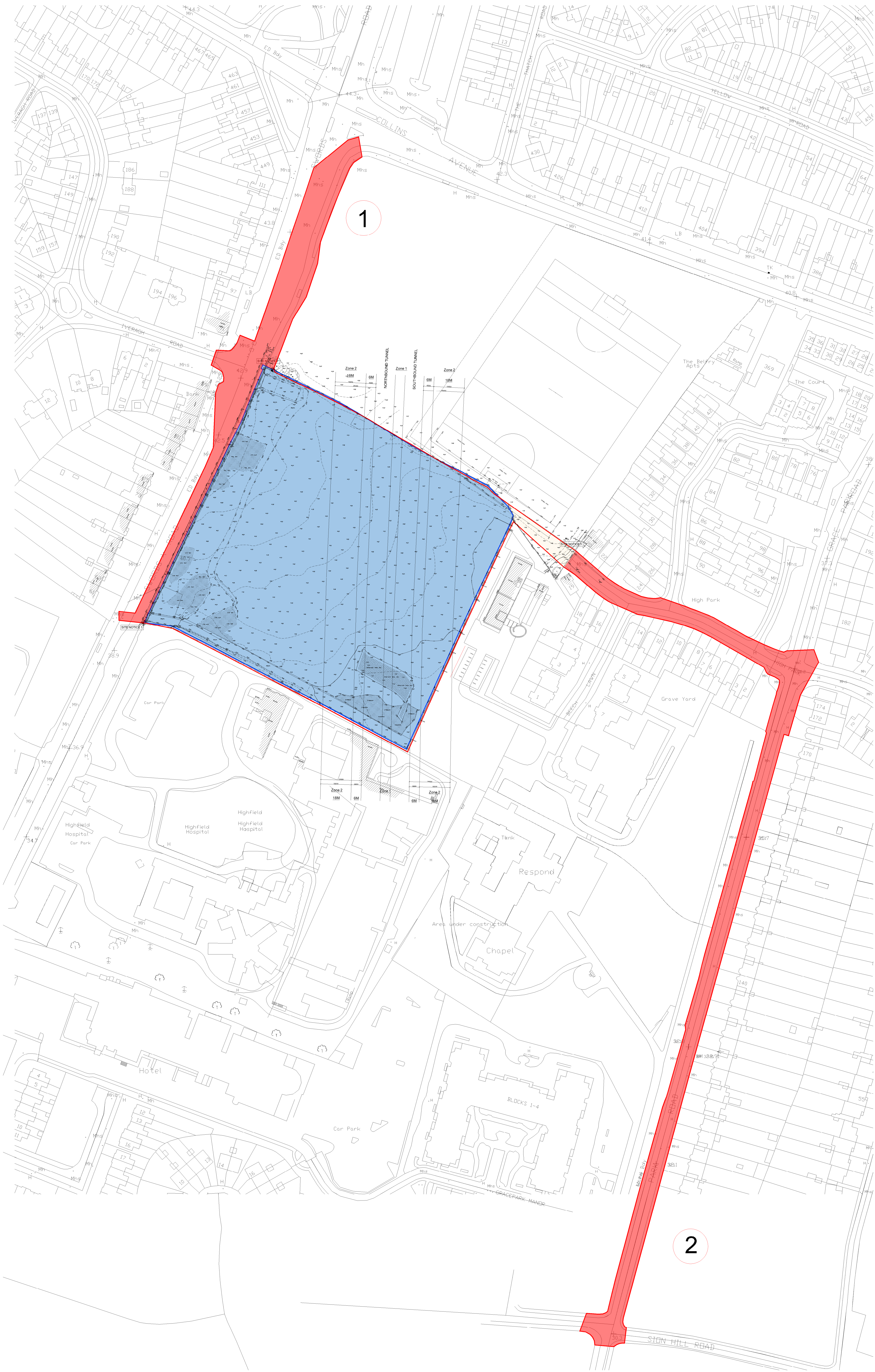
EW Property Ltd., being the owner of said lands, hereby gives consent to Eastwise Construction Swords Ltd. to lodge a SHD planning application for development of Hartfield Place on the said lands located at Hartfield Place, Swords Road, Whitehall, Dublin 9.

Yours sincerely,



Kieran Gannon
Director - EW Property Limited

DESIGN INTENT
DRAWING

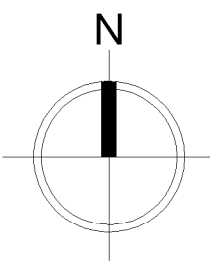


Existing Site/ Site Survey
1:500

LEGEND:

- APPLICATION BOUNDARY
Site Area: 29,101m² (3,910 ha)
- DEVELOPABLE AREA BOUNDARY
Site Area: 27,340m² (2,734 ha)
- DEVELOPABLE AREA IN THE CONSIDERATION OF THE LANDOWNER
- ADDITIONAL PARCEL OF LAND SOUGHT TO BE INCLUDED IN PLANNING APPLICATION
- RIGHT OF WAY AREA

OS MAP REF: 319842, 3198501, 319222, 319221
ORDNANCE SURVEY (IRELAND) LICENSE NO. 20140280
COPYRIGHT ORDNANCE SURVEY (IRELAND) AND
GOVERNMENT OF IRELAND



Rev	Date	Description	Issued By
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Project Stage
PLANNING

Client:
Eastwise Construction Limited

Project:
Hanfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:
Existing Site/ Site Survey

Drawn	Checked	Paper Size	Scale	Date
DP	CM	A0	1:1000 @ A0	Mar. 2022
Project No:	Drawing No:	Classification	Revision	
HARTPL	000501		P01	

File Name:
HARTPL-CWO-SM-00-DR-A-000501

Status:
S2-Suitable For Information

C+W O'BRIEN
ARCHITECTS

No.1 Sarsfield Quay, Dublin 7, D07 R9FH
t: 01 518 0170 e: admin@cwoarchitects.ie
Dublin | Cork | Galway | London | UK & Europe +
www.cwoarchitects.ie

Please consider the environment before printing this sheet

Appendix F – Go Car Letter of Intent



Eastwise Construction Limited
Station Mews
Lindsay Grove
Glasnevin
D09 W8W8
09/02/2022

To Whom It May Concern,

This is a letter to confirm that GoCar intends to provide a service of 5 (no) shared GoCar vehicles for the proposed Hartfield Place strategic housing development at Swords Road, Whitehall, Dublin 9. GoCar representatives have discussed the project with representatives of Aecom, who are the engineering company for this development, and are excited to provide a car sharing service at this location.

It is understood that the vehicles at this development will be positioned in a resident's car park to allow for ease of access for all residents. While it is the intention for most of these vehicles to be used exclusively by the residents of the development, GoCar may agree with the eventual managers of the site to allow some vehicles to be open for access to other GoCar members nearby. This will depend on usership levels and will be reviewed at various periods to ensure adequate supply for the residents of the development.

GoCar is Ireland's leading car sharing service with over 60,000 members and over 800 cars and vans on fleet. Each GoCar which is placed in a community has the potential to replace the journeys of up to 15 private cars. The Department of Housing's Design Standards for New Apartments - Guidelines for Planning Authorities 2018 outline: "For all types of location, where it is sought to eliminate or reduce car parking provision, it is necessary to ensure... provision is also to be made for alternative mobility solutions including facilities for car sharing club vehicles."

Carsharing is a sustainable service. By allowing multiple people to use the same vehicle at different times, car sharing reduces car ownership, car dependency, congestion, noise, and air pollution. It frees up land which would otherwise be used for additional parking spaces. Most GoCar users only use a car when necessary and walk and use public transport more often than car owners.

By having GoCar car sharing vehicles in a development such as this, the residents therein will have access to pay-as-you-go driving, in close proximity to their homes, which will increase usership of the service.

I trust that this information is satisfactory. For any queries, please do not hesitate to contact me.

A handwritten signature in black ink, appearing to read 'Rob Montgomery'.

Rob Montgomery
Revenue and Growth Manager
GoCar Carsharing Ltd
Mobile: 086 609 7096
E: robert.montgomery@gocar.ie

Appendix G – EIAR Portal Confirmation

Shauna Hewitt

From: Housing Eiaportal <EIAportal@housing.gov.ie>
Sent: Thursday 31 March 2022 13:08
To: Shauna Hewitt
Subject: FW: EIA Portal Confirmation Notice Portal ID 2022056

From: Housing Eiaportal <EIAportal@housing.gov.ie>
Sent: Thursday 31 March 2022 11:57
To: Shauna Hewitt <shauna@mcgplanning.ie>
Subject: EIA Portal Confirmation Notice Portal ID 2022056

Dear Shauna,

An EIA Portal notification was received on 31/03/2022 in respect of this proposed application. The information provided has been uploaded to the EIA Portal on 31/03/2022 under EIA Portal ID number 2022056 and is available to view at

<http://housinggovie.maps.arcgis.com/apps/webappviewer/index.html?id=d7d5a3d48f104ecbb206e7e5f84b71f1>.

Portal ID: 2022056

Competent Authority: An Bord Pleanála

Applicant Name: Eastwise Construction Swords Ltd

Location: "Hartfield Place" Swords Road, Whitehall, Dublin 9.

Description: Strategic Housing Development for 472 no. residential units, residential amenities, a creche, a café and all associated site development works.

Linear Development: No

Date Uploaded to Portal: 31/03/2022

Regards,

Hugh Wogan,

EIA Portal team

An Roinn Tithíochta, Rialtais Áitiúil agus Oidhreachta
Department of Housing, Local Government and Heritage

Teach an Chustaim, Baile Átha Cliath 1, D01 W6X0
Custom House, Dublin 1, D01 W6X0

T +353 (0) 1 888 2000

www.gov.ie/housing



An Roinn Tithíochta,
Rialtais Áitiúil agus Oidhreachta
Department of Housing,
Local Government and Heritage

Appendix H – Part V Pack



Housing & Community Services,
Block 1, Floor 3,
Civic Offices, Wood Quay, Dublin 8

Seirbhísí Tithíochta agus Pobal
Bloc 1, Urlár 3
Oifigí na Cathrach, An Ché Adhmaid, Baile Átha Cliath 8
T. 01 222 2458 E: Natasha.Satell@dublincity.ie

Ms. Brenda Butterly,
McGill Planning Ltd.
brenda@mcgplanning.ie
By email only.

9th March 2022
Part V Ref: 867

Re: Hartfield, Swords Road, Collins Avenue, Dublin 9
Applicant: Eastwise Construction Swords Limited
Agent: McGill Planning Ltd.

Part V Validation Letter
PP 3269/10 and as amended PP 3405/19

Dear Sir / Madam,

McGill Planning Ltd. intends to lodge a new Strategic Housing Development application on behalf of their client Eastwise Construction Swords Limited, to develop a site at Hartfield, Swords Road, Collins Avenue, Dublin 9. This application if granted will supersede PP 3269/10 and as amended under PP 3405/19. The new proposal will increase the number of residential units from 374 units to a total of 472 units.

Eastwise Construction Swords Limited has provided Part V documents to Dublin City Council and an agreement in principal to comply with their Part V requirement has been reached.

Dublin City Councils preferred option is to acquire units **on site** and is bound by the planning permissions granted. Therefore, Dublin City Council can only agree in respect of the actual permitted development.

I would be obliged if you could validate this planning application. If you have any further queries regarding this application, please contact me on 01 - 222 2458.

Yours sincerely,

pp. N Satell
Lorraine Gaughran
Housing Development

Planning Department,
Dublin City Council,
Civic Offices,
Wood Quay,
Dublin 8.

8th March 2022

RE: Part V proposal for a Strategic House Development (SHD) at 'Hartfield Place', Swords Road, Dublin 9

A Chara,

On behalf of my Client, Eastwise Construction Swords Limited, we intend to lodge a planning application for a Strategic Housing Development to An Bord Pleanála comprising 472 no. apartment units. It is proposed to provide 47 apartments (i.e. 10% of 472) for the purposes of complying with Part V of the Planning and Development Act 2000 (as amended).

We attach a copy of our Part V submission for the provision of the following units to meet the Part V requirements on the site:

- 1 bed apartments – 20 no.
- 2 bed apartments – 27 no.

Total – 47 no. apartments (i.e., 10% of 472)

The final details of the Part V Agreement will be agreed with Dublin City Council based on the planning permission granted. The Applicant will engage with Dublin City Council's Housing Department following receipt of final grant of planning for the development to agree the final details of the Part V Agreement.

In preparing this information we have had regard to Circular PL 10/2015, Housing Circular 36/2015 and Part V of the Planning and Development Act 2000 (as amended) – Guidelines January 2021

We wish to confirm that we have used the methodology as set out in Table 2, Pg. 10 of the department's Circular to estimate the costs. We understand that estimated costs are required to be submitted with the planning application. A summary of the costs, specific to the Part V units will be as follows:

Part V – Summary Costings

Unit Type	Quantity	Description	Total Cost (Nett)	Total Cost (incl VAT)	Average Cost per unit (incl VAT)
Apartment	20	1 bed	€ 6,559,345	€ 7,444,856	€ 372,242.81
Apartment	27	2 bed	€ 13,409,091	€ 15,219,319	€ 563,678.46
TOTAL	47		€ 19,968,436	€ 22,664,175	

Please find the following documents enclosed:

- Part V Checklist
- Site Plan
- Part V Housing Quality Assessment
- Copy of all floor plans
- Elevations

- Landscape Masterplan
- Design Information
- Part V Housing Quality Assessment
- Hartfield Place – Part V Cost Data Form Rev.2 472 units
- Letter from Dillon Marshall Property Consultants confirm the Existing Use Value

We trust that this submission is satisfactory in the context of the requirements of the regulations for this SHD application if so, please revert to confirm in writing.

If you have any queries, or require any further information or clarification, please do not hesitate to contact us.

Kind regards,

Brenda Butterly,

**MINIMUM DOCUMENTS/INFORMATION REQUIREMENTS BY
DUBLIN CITY COUNCIL - HOUSING & RESIDENTIAL DEPARTMENT
FOR PART V SUBMISSIONS FROM ALL DEVELOPERS**

Nominated Negotiator for Part V: _____

Company Details: **Eastwise Construction Swords Limited**

Phone: **01 443 4442**

Email: **planning@eastwise.ie**

Site Name: **Hartfield Place, Swords Road**

Planning Ref: **n/a**

Site Address (as appears on PP): **Hartfield Place, Swords Road, Whitehall**

Design Information	Please tick/specify amount
Site plan (minimum size A1)	✓
Number and types of residential units in the development	✓
Number of retail/crèche or other non residential units in the development, if any	✓
Gross Internal Floor Area of all floors in the development including basement level (if appropriate)	✓
Schedule of Net Internal Floor Areas of <u>all</u> residential units	✓
Net Internal Floor Area of <u>all</u> non residential units, if any	✓
Copy of all floor plans including basement (if appropriate) and roof level of the scheme; (minimum size A1) – PDF version and 1 hard copy	✓
Copy of floor plans, (1:100 minimum scale); showing residential units <u>offered</u> through Part V in the scheme, clearly outlined. This is a requirement for floor area check and confirmation. If designated units are not known at this stage please supply floor plans of each differing unit type – PDF version and 1 hard copy	✓
Elevational treatments (A3 colour preferable) – PDF version and 1 hard copy	✓
Soft/hard landscaping plans (A3 colour preferable) – PDF version and 1 hard copy	✓
Please provide an outline Architectural or building specification for the works. Please note that if internal finishes/fixtures and fittings, are deemed to be above what may be termed as 'developer standard', full details of what is proposed must be provided in order for Dublin City Council to make an accurate assessment of costs as presented.	
Cost Information	
Breakdown of costs as appropriate for the following: The entire scheme on Form Building Costs (PartV CostData Rev1) or similar layout. Please note that if the development is a mix of houses and apartments, costs must be shown <u>separately</u> for analysis of the construction elements. Please note it is not sufficient to submit compensation costs only for the Part V element of the scheme. If the scheme is a mix of residential and non-residential units, all costs must be submitted and residential costs separated out for analysis. Please note if the following costs form part of the development and subsequent Part 5 compensation costs sought; these costs are to be shown separately for analysis. <ol style="list-style-type: none"> Basement car-parking Demolition of existing buildings Soil contamination/remediation. If identified, costs associated with specific Part V Units to be set out in table format, otherwise total residential development costs will be applied as a rate per/m2 GIFA for each residential unit.	✓
Projected management fee charges per annum	✓

Part V Checklist
P:\3 Part V\Part V scheme\Costing and Checklist
Version: June 2018

Confirmation of Development Value of site	✓
Confirmation of Existing Use Value of site (EUV)	✓
Additional Information	
Date of commencement of construction works on site	June 2022
Construction Programme/Period of Construction anticipated/actualised	18 months
Name/Contact No./Email of Valuer: Damien Dillon Dillon Marshall Property Consultant info@dmppc.ie 01 496 7574	
Name/Contact No./Email of QS: PJ Flanagan Eastwise Group PJ@Eastwise.ie 087 702 5090	
Name/Contact No./Email of Architect: William Power C+W O'Brien Architects wpower@cwoarchitects.ie 01 518 0170	
Freedom of Information.	
Please note that Dublin City Council is subject to the Freedom of Information Act 2014. Any information provided by the Developer that is considered commercially sensitive must be highlighted in writing as such.	

Signed: _____ **Print Name:** _____

**Note: If this document is not completed in full it will be returned with accompanying documentation*

Part V Schedule of Accommodation & Approximate Cost

Location address **HARTFIELD PLACE, SWORDS ROAD**

*All amounts incl VAT @ 13.5%

Unit Type	Net sq m	Cost per m2 €	Cost per unit €	Site development costs €	Plot Value €	Total cost per unit €	Unit No's	Total cost €	Sales Price per Unit €	Sales Price Overall €
						0		-	-	-
1 Bed	51.5	€ 6,463	€ 332,862	€ 20,072	€ 1,612	€ 354,546	8	€ 2,836,369	€ 354,546	€ 2,836,369
1 Bed	52.8	€ 6,463	€ 341,265	€ 20,072	€ 1,612	€ 362,949	4	€ 1,451,794	€ 362,949	€ 1,451,794
1 Bed	54.5	€ 6,463	€ 352,511	€ 20,072	€ 1,612	€ 374,195	4	€ 1,496,779	€ 374,195	€ 1,496,779
1 Bed	60.9	€ 6,463	€ 393,295	€ 20,072	€ 1,612	€ 414,978	4	€ 1,659,914	€ 414,978	€ 1,659,914
2 Bed	79.0	€ 6,488	€ 512,543	€ 20,072	€ 1,612	€ 534,227	1	€ 534,227	€ 534,227	€ 534,227
2 Bed	79.3	€ 6,463	€ 512,543	€ 20,072	€ 1,612	€ 534,227	9	€ 4,808,044	€ 534,227	€ 4,808,044
2 Bed	81.7	€ 6,463	€ 527,991	€ 20,072	€ 1,612	€ 549,675	1	€ 549,675	€ 549,675	€ 549,675
2 Bed	86.1	€ 6,463	€ 556,623	€ 20,072	€ 1,612	€ 578,307	12	€ 6,939,686	€ 578,307	€ 6,939,686
2 Bed	89.0	€ 6,463	€ 575,238	€ 20,072	€ 1,612	€ 596,922	4	€ 2,387,686	€ 596,922	€ 2,387,686
Common area			0	0	0	0		incl		
							47	€22,664,175		€ 22,664,175

Summary of Costs - carried forward to Part V Letter of Compliance

Unit Type	Quantity	Description	Total Cost (Nett)	Total Cost (incl VAT)	Average Cost per unit (incl VAT)
Apartment	20	1 bed	€ 6,559,345	€ 7,444,856	€ 372,242.81
Apartment	27	2 bed	€ 13,409,091	€ 15,219,319	€ 563,678.46
TOTAL	47		€ 19,968,436	€ 22,664,175	



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

MAIN COST SUMMARY

Total Cost €

BUILDING COSTS

Page

Apts

Substructures - Basement Car-Parking	2	16,902,396
Substructures Generally	3	2,401,037
Superstructures	4 & 5	100,789,683
External Works	6	0
Site Development Works	7	9,534,195
Abnormal Works	8	0
Indirect Project Costs	9	19,444,097
Total:	1	149,071,407

DEVELOPMENT ON COSTS

Professional Fees		13,949,277
Development Contributions		6,856,548
Finance Costs		20,869,997
Total:	2	41,675,822

DEVELOPERS' PROFIT

On Building Costs	15%	3	22,360,711
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LAND COSTS

Existing Land Use Value	4	674,600
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SUB-TOTAL:

1 - 4 above

213,782,540

add:

Value Added Tax

28,860,643

TOTAL COSTS:

242,643,183



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

Part V Cost Data
Form (Rev.2)
Page 2 of 14

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

BASEMENT STRUCTURES

Total Cost €

Apts

Basement

16,902,396.05

forward to main cost summary

16,902,396.05



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

Part V Cost Data
Form (Rev.2)
Page 3 of 14

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

(19) SUBSTRUCTURE

Total Cost €

Apts

Substructure

2,401,036.90

forward to main cost summary

2,401,036.90



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

Part V Cost Data
Form (Rev.2)
Page 4 of 14

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

(20-60) SUPERSTRUCTURE

Total Cost €

Apts

(20) Building Superstructures

(21) External Walls	11,457,160.39
(22) Internal Walls/Partitions	7,812,600.15
(23) Floors/Galleries	5,241,761.70
(24) Stairs/Ramps	1,124,507.84
(27) Roof	1,803,830.60
(28) Frames	10,710,285.37

(30) Building Structure Completion

(31) External Walls Completions	6,545,009.28
(32) Internal Walls/Partitions Completions	3,107,573.95
(33) Floors/Galleries Completion	5,142,523.03
(34) Stairs/Ramps Completions	841,748.70
(35) Suspended Ceilings	0.00
(37) Roofs Completions	985,938.13

(40) Building Finishes

(41) Wall Finishes Externally	244,707.64
(42) Wall Finishes Internally	2,538,030.19
(43) Floor Finishes	4,733,331.54
(44) Stairs/Ramps Finishes	392,492.33
(45) Ceiling Finishes	3,746,477.22
(47) Roof Finishes	2,340,227.19

(50) Building Services (Piped & Ducted)

(51) Heating Centre	0.00
(52) Drainage and Refuse Disposal	211,302.00
(53) Water Distribution	0.00
(54) Gases Distribution	0.00
(55) Space Cooling	0.00
(56) Space Heating	0.00
(57) Ventilation and Air Conditioning	12,580,637.61

(60) Building Services (Mainly Electrical)

(61) Electrical Supply and Main Distribution	9,355,746.55
(62) Power	0.00
(63) Lighting	0.00
(64) Communication Services	0.00
(65) Security and Protection	0.00
(66) Transport Services	1,196,314.93

b/f

92,112,206.34



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

**Part V Cost Data
Form (Rev.2)
Page 5 of 14**

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

SUPERSTRUCTURE

Total Cost €

Apts

92,112,206.34

c/f

(70) Building Fittings and Furniture

(71) Display, Circulation Fittings

(72) Work, Rest, Play Fittings

(73) Culinary Fittings

(74) Sanitary Fittings

(75) Cleaning Maintenance Fittings

(76) Storage, Screening Fittings

8,677,476.16

incl

incl

incl

incl

incl

forward to main cost summary

100,789,682.50



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

(10-80) EXTERNAL WORKS

Total Cost €

(10) Prepared Site

Apts
incl in site dev.

(20) Site Structures

incl in site dev.

(30) Site Enclosures

incl in site dev.

(40) Roads, Paths, Pavings

incl in site dev.

(50) Site Services (Piped & Ducted)

incl in site dev.

(60) Site Services (Mainly Electrical)

incl in site dev.

(70) Site Fittings

incl in site dev.

(80) Landscape, Play Areas

incl in site dev.

forward to main cost summary

0.00



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

Part V Cost Data
Form (Rev.2)
Page 7 of 14

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

(10-80) SITE DEVELOPMENT WORKS

Total Cost €

	Apts
(10) Prepared Site	3,228,173.67
(20) Site Structures	607,493.25
(30) Site Enclosures	270,643.26
(40) Roads, Paths, Pavings	1,126,183.76
(50) Site Services (Piped & Ducted)	1,498,216.86
(60) Site Services (Mainly Electrical)	742,874.47
(70) Site Fittings	586,288.16
(80) Landscape, Play Areas	1,474,321.79

forward to main cost summary

9,534,195.22



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Comhairle Cathrach Bhaile Átha Cliath

**Part V Cost Data
Form (Rev.2)
Page 8 of 14**

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

ABNORMAL WORKS

Total Cost €

Apts

forward to main cost summary

0.00



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

Part V Cost Data
Form (Rev.2)
Page 9 of 14

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

INDIRECT PROJECT COSTS

Total Cost €

Preliminaries

Apts
19,444,096.60

Insurances

forward to main cost summary

19,444,096.60



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

**Part V Cost Data
Form (Rev.2)
Page 10 of 14**

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

PROFESSIONAL FEES

Total Cost €

Design Team Fees (specify all)

Apts
13,416,426.65

Architect
Structural Engineer
MEP Engineer
Traffic Consultant
Quantity Surveyor
Monitoring surveyor
Planning
Fire Strategy Consultant
Traffic Consultant
Acoustic Consultant
Landscaping Consultant
Environmental Consultant
Health and Safety Consultant
Interior Design Consultant

Planning Fees

36,475.00

Fire Cert. Fees

87,500.00

Legal Fees

Other Fees (specify)

Archaeological Fees
Site Survey

5,000.00
12,000.00

Homebond or similar construction guarantee scheme

391,875.00

forward to main cost summary

13,949,276.65



SCHEME	HARTFIELD PLACE, SWORDS ROAD
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[illegible]



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

Part V Cost Data
Form (Rev.2)
Page 12 of 14

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

FINANCE COSTS

Total Cost €

Finance Costs

Apts
20,869,997.02

forward to main cost summ

20,869,997.02



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

Existing Land Use Value

Total Cost

Existing Land Use Value

674,600.00

forward to main cost summary

674,600.00



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

**Part V Cost Data
Form (Rev.2)
Page 14 of 14**

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR EASTWISE CONSTRUCTION LTD

SCHEME HARTFIELD PLACE, SWORDS ROAD

Value Added Tax Calculation

Total Cost €

Apts
28,860,642.93

forward to main cost summary

28,860,642.93

PE18138 - HARTFIELD PLACE - PART V APPLICATION DRAWINGS/ DOCUMENTS REGISTER



Project	Firm	Zone	Level	Doc	Disipline	Number	Zone2	Drawing Type / Package	Drawing Name	Status	Revision	Scale	Size	Tender	Construction	374	475	Draft Issue
HARTPL	CWO	SM	00	DR	A	000505	Site	SITE PLAN	Site Plan - Part V	S1	P01	1:500	A1					
HARTPL	CWO	BC	00	DR	A	032550	Block C	PART V PLANS	Block C - L00 Ground Floor Plan	S1	P01	1:100	A1					
HARTPL	CWO	BC	01	DR	A	032551	Block C	PART V PLANS	Block C - L01 First Floor Plan	S1	P01	1:100	A1					
HARTPL	CWO	BC	02	DR	A	032552	Block C	PART V PLANS	Block C - L02 Second Floor Plan	S1	P01	1:100	A1					
HARTPL	CWO	BC	03	DR	A	032553	Block C	PART V PLANS	Block C - L03 Third Floor Plan	S1	P01	1:100	A1					
HARTPL	CWO	BC	04	DR	A	032554	Block C	PART V PLANS	Block C - L04 Fourth Floor Plan	S1	P01	1:100	A1					
HARTPL	CWO	BC	05	DR	A	032555	Block C	PART V PLANS	Block C - L05 Fifth Floor Plan	S1	P01	1:100	A1					

Hartfield Place, Swords Road, Dublin 9	Date: Mar. 2022 - CWO		
HOUSING QUALITY ASSESSMENT - APARTMENT BLOCK C - PART V			

HOUSING QUALITY ASSESSMENT - APARTMENT BLOCK C - PART V

LEVEL	Unit No.	Unit Type	Unit description	Type	Area Required (m2)	Area Achieved (m2)	No. of Bedspaces	Part V (Yes/No)
GROUND FLOOR	C1-1-L0	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	Y
	C1-2-L0	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	Y
	C1-3-L0	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C1-4-L0	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-1-L0	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-2-L0	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C2-3-L0	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-4-L0	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-5-L0	C-1B2P-Type Q2	1 Bed Apartment (Corner Unit)	Q2	45	52.8	2	Y
	C2-6-L0	C-1B2P-Type Q4	1 Bed Apartment (Corner Unit)	Q4	45	54.0	2	Y
	C2-7-L0	C-1B2P-Type P2	1 Bed Apartment (Mid Unit)	P2	45	60.0	2	Y
	C1-5-L1	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	Y
FIRST FLOOR	C1-6-L1	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	Y
	C1-7-L1	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C1-8-L1	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-8-L1	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-9-L1	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C2-10-L1	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-11-L1	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-12-L1	C-1B2P-Type Q2	1 Bed Apartment (Corner Unit)	Q2	45	52.8	2	Y
	C2-13-L1	C-1B2P-Type Q4	1 Bed Apartment (Corner Unit)	Q4	45	54.0	2	Y
	C2-14-L0	C-1B2P-Type P2	1 Bed Apartment (Mid Unit)	P2	45	60.0	2	Y
SECOND FLOOR	C1-9-L2	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	Y
	C1-10-L2	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	Y
	C1-11-L2	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C1-12-L2	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-15-L2	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-16-L2	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C2-17-L2	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-18-L2	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-19-L2	C-1B2P-Type Q2	1 Bed Apartment (Corner Unit)	Q2	45	52.8	2	Y
	C2-20-L2	C-1B2P-Type Q4	1 Bed Apartment (Corner Unit)	Q4	45	54.0	2	Y
THIRD FLOOR	C1-13-L3	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	Y
	C1-14-L3	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	Y
	C1-15-L3	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C1-16-L3	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-22-L3	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-23-L3	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C2-24-L3	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-25-L3	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-26-L3	C-1B2P-Type Q2	1 Bed Apartment (Corner Unit)	Q2	45	52.8	2	Y
	C2-27-L3	C-1B2P-Type Q4	1 Bed Apartment (Corner Unit)	Q4	45	54.0	2	Y
FOURTH FLOOR	C2-28-L3	C-1B2P-Type P2	1 Bed Apartment (Mid Unit)	P2	45	60.0	2	Y
	C1-17-L4	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	N
	C1-18-L4	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	N
	C1-19-L4	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	N
	C1-20-L4	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-29-L4	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-30-L4	C-2B4P-Type C1	2 Bed Apartment (Corner Unit)	C1	73	86.1	4	Y
FIFTH FLOOR	C2-31-L4	C-1B2P-Type P2	1 Bed Apartment (Corner Unit)	P2	45	60.0	2	N
	C1-21-L5	C-1B2P-Type P1	1 Bed Apartment (CornerUnit)	P1	45	52.3	2	N
	C1-22-L5	C-3B6P-Type E1	3 Bed Apartment (CornerUnit)	E1	90	104.9	6	N
FIFTH FLOOR	C1-23-L5	C-2B4P-Type D2	2 Bed Apartment (CornerUnit)	D2	73	79.3	4	N
TOTAL	54				3343	3905.5	174	47

LEVEL	Unit No.	Part V (Yes/No)
GROUND FLOOR	C1-1-L0	Y
	C1-2-L0	Y
	C1-3-L0	Y
	C1-4-L0	Y
	C2-1-L0	Y
	C2-2-L0	Y
	C2-3-L0	Y
	C2-4-L0	Y
	C2-5-L0	Y
	C2-6-L0	Y
	C2-7-L0	Y
	C1-5-L1	Y
FIRST FLOOR	C1-6-L1	Y
	C1-7-L1	Y
	C1-8-L1	Y
	C2-8-L1	Y
	C2-9-L1	Y
	C2-10-L1	Y
	C2-11-L1	Y
	C2-12-L1	Y
	C2-13-L1	Y
	C2-14-L0	Y
SECOND FLOOR	C1-9-L2	Y
	C1-10-L2	Y
	C1-11-L2	Y
	C1-12-L2	Y
	C2-15-L2	Y
	C2-16-L2	Y
	C2-17-L2	Y
	C2-18-L2	Y
	C2-19-L2	Y
	C2-20-L2	Y
THIRD FLOOR	C2-21-L2	Y
	C1-13-L3	Y
	C1-14-L3	Y
	C1-15-L3	Y
	C1-16-L3	Y
	C2-22-L3	Y
	C2-23-L3	Y
	C2-24-L3	Y
	C2-25-L3	Y
	C2-26-L3	Y
FOURTH FLOOR	C2-27-L3	Y
	C2-28-L3	Y
	C1-17-L4	N
	C1-18-L4	N
	C1-19-L4	N
	C1-20-L4	Y
	C2-29-L4	Y
FIFTH FLOOR	C2-30-L4	Y
	C2-31-L4	N
	C1-21-L5	N
FIFTH FLOOR	C1-22-L5	N
	C1-23-L5	N
TOTAL	54	47

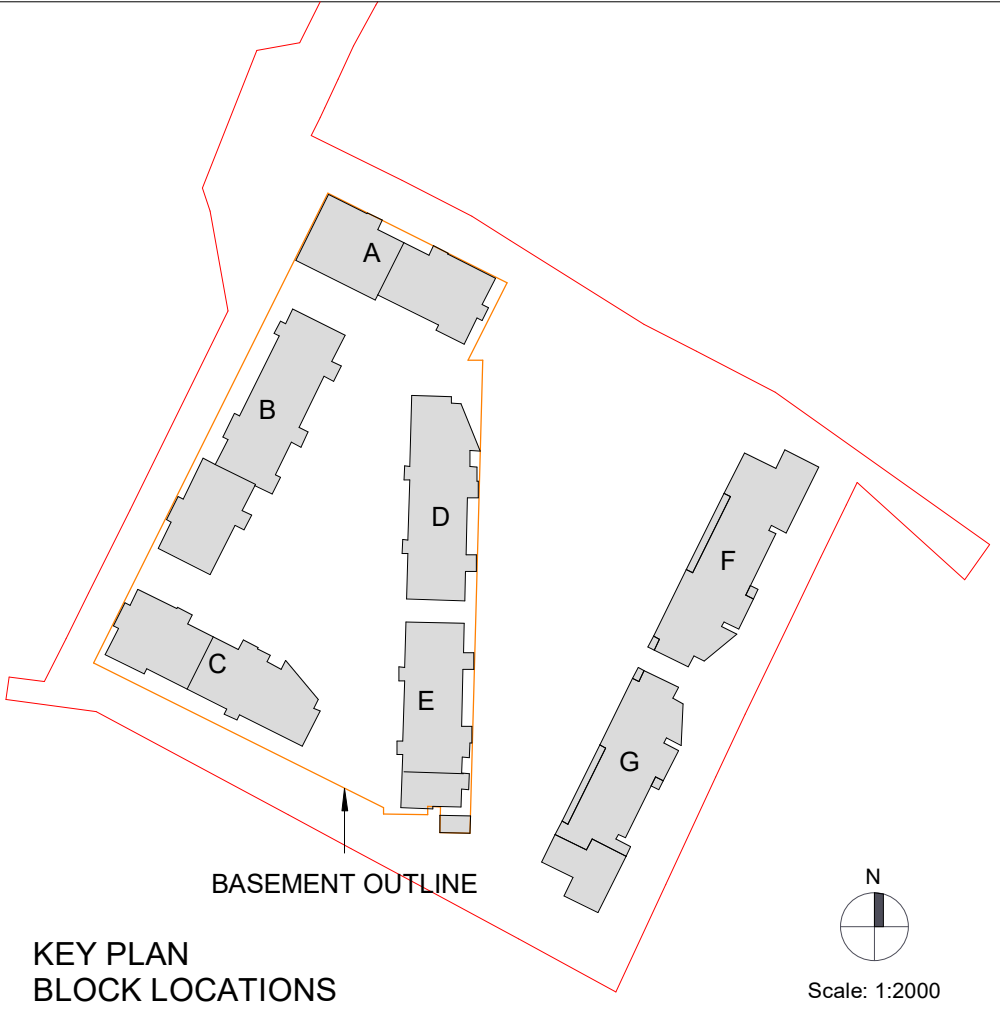


1 SITE PLAN - CONTEXT
1:500

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FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING. DO NOT SCALE.
ALL CONTRACTORS MUST VISIT THE SITE AND BE RESPONSIBLE FOR CHECKING ALL SETTING OUT DIMENSIONS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY MANUFACTURE OR CONSTRUCTION WORK.

NOTES:

DESIGN INTENT DRAWING



APPLICATION BOUNDARY



DEVELOPABLE AREA



TOTAL PROPOSED CAR PARKING SPACES

BASEMENT

- no. 249 RESIDENTS PARKING (5 of them are for electric vehicles)
- no. 5 CRECHE STAFF
- no. 18 ACCESSIBLE PARKING
- no. 5 CAR SHARE / CAR CLUB

SURFACE LEVEL

- no. 37 RESIDENTS PARKING
- no. 4 ACCESSIBLE PARKING
- no. 15 VISITORS PARKING (4 of them are drop-off parking)

A TOTAL OF 337 CAR PARKING SPACES PROVIDED
308 OF WHICH FOR RESIDENTS

- no. 14 MOTORCYCLE PARKING

- no. 732 SECURE CYCLE SPACES
- no. 236 VISITOR CYCLE SPACES
- no. 14 CARGO BIKE SPACES

A TOTAL OF 948 CYCLE SPACES PROVIDED

Rev	Date	Description	Issued By
-----	------	-------------	-----------

Project Stage

PLANNING

Client:

Eastwise Construction Swords Limited

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

SITE PLAN CONTEXT

Drawn	Checked	Paper Size	Scale	@A0	Date
DP	CM	A0	As Indicated		Mar. 2022

Project No.	Drawing No.	Classification	Revision
-------------	-------------	----------------	----------

HARTPL 000515

File Name
HARTPL-CWO-SM-00-DR-A-000515

Status:
S2-Suitable For Information

C+W O'BRIEN
ARCHITECTS

No 1 Sansfield Quay, Dublin 7, D07 R9FH
t: 01 518 0170 e: admin@cwoarchitects.ie
Dublin | Cork | Galway | London | UK & Europe +
www.cwoarchitects.ie

Please consider the environment before printing this sheet

DESIGN INTENT
DRAWING

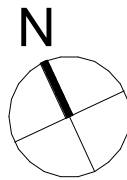


1 GA Part V - Ground Floor Plan
1 : 100

PART V UNIT

- 1 BED APT
- 2 BED APT
- CIRCULATION

Room Legend	
EH/C	Entrance Hall / Corridor
KLD	Kitchen / Living / Dining Room
BD1	Bedroom 1
BD2	Bedroom 2
BD3	Bedroom 3
BR	Bathroom
BR/ES	Bathroom / En Suite
ES	En Suite
ST	Store
POS	Private Open Space
ER	Electrical Riser
MR	Mechanical Riser
MSV	Mechanical Smoke Vent



Rev	Description	Date	Dr by	App by
-----	-------------	------	-------	--------

Project Stage

PLANNING

Client:

Eastwise Construction Swords Limited

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - Ground Floor GA 472 Units - PART V

Drawn	Checked	Paper Size	Scale	Date
DS	CM	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032550		

File Name
HARTPL-CWO-BC-00-DR-A-032550

Status:
S2-Suitable For Information

DESIGN INTENT
DRAWING



1 GA PART V - First Floor Plan

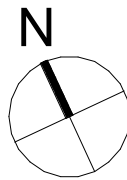
1 : 100

PART V UNIT

- 1 BED APT
- 2 BED APT
- CIRCULATION

Room Legend

- | | |
|-------|--------------------------------|
| EH/C | Entrance Hall / Corridor |
| KLD | Kitchen / Living / Dining Room |
| BD1 | Bedroom 1 |
| BD2 | Bedroom 2 |
| BD3 | Bedroom 3 |
| BR | Bathroom |
| BR/ES | Bathroom / En Suite |
| ES | En Suite |
| ST | Store |
| POS | Private Open Space |
| ER | Electrical Riser |
| MR | Mechanical Riser |
| MSV | Mechanical Smoke Vent |



Rev	Description	Date	Dr by	App by
-----	-------------	------	-------	--------

Project Stage

PLANNING

Client:

Eastwise Construction Swords Limited

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - First Floor GA 472 Units - PART V

Drawn	Checked	Paper Size	Scale	Date
DS	CM	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032551		

File Name

HARTPL-CWO-BC-01-DR-A-032551

Status:

S2-Suitable For Information

DESIGN INTENT DRAWING



1 GA PART V - Second Floor Plan

1 : 100

PART V UNIT

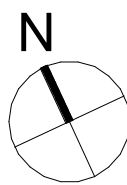
1 BED APT

2 BED APT

CIRCULATION

Room Legend

EH/C	Entrance Hall / Corridor
KLD	Kitchen / Living / Dining Room
BD1	Bedroom 1
BD2	Bedroom 2
BD3	Bedroom 3
BR	Bathroom
BR/ES	Bathroom / En Suite
ES	En Suite
ST	Store
POS	Private Open Space
ER	Electrical Riser
MR	Mechanical Riser
MSV	Mechanical Smoke Vent



Rev	Description	Date	Dr by	App by
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Project Stage

PLANNING

Client:

Eastwise Construction Swords Limited

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - Second Floor GA 472 Units - PART V

Drawn	Checked	Paper Size	Scale	Date
DS	CM	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032552		

File Name
HARTPL-CWO-BC-02-DR-A-032552

Status:
S2-Suitable For Information

DESIGN INTENT DRAWING



1 GA PART V - Third Floor Plan

1 : 100

PART V UNIT

1 BED APT

2 BED APT

CIRCULATION

Room Legend

EHC	Entrance Hall / Corridor
KLD	Kitchen / Living / Dining Room
BD1	Bedroom 1
BD2	Bedroom 2
BD3	Bedroom 3
BR	Bathroom
BR/ES	Bathroom / En Suite
ES	En Suite
ST	Store
POS	Private Open Space
ER	Electrical Riser
MR	Mechanical Riser
MSV	Mechanical Smoke Vent



Rev	Description	Date	Dr by	App by
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Project Stage

PLANNING

Client:

Eastwise Construction Swords Limited

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - Third Floor GA - 472 Units - PART V

Drawn	Checked	Paper Size	Scale	Date
DS	CM	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032553		

File Name
HARTPL-CWO-BC-03-DR-A-032553

Status:
S2-Suitable For Information

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DESIGN INTENT
DRAWING



1 GA PART V - Fourth Floor Plan

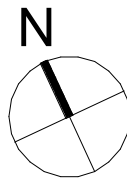
1 : 100

PART V UNIT

- 1 BED APT
- 2 BED APT
- CIRCULATION

Room Legend

- EH/C Entrance Hall / Corridor
- KLD Kitchen / Living / Dining Room
- BD1 Bedroom 1
- BD2 Bedroom 2
- BD3 Bedroom 3
- BR Bathroom
- BR/ES Bathroom / En Suite
- ES En Suite
- ST Store
- POS Private Open Space
- ER Electrical Riser
- MR Mechanical Riser
- MSV Mechanical Smoke Vent



Rev	Description	Date	Dr by	App by
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Project Stage

PLANNING

Client:

Eastwise Construction Swords Limited

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - Fourth Floor GA 472 Units - PART V

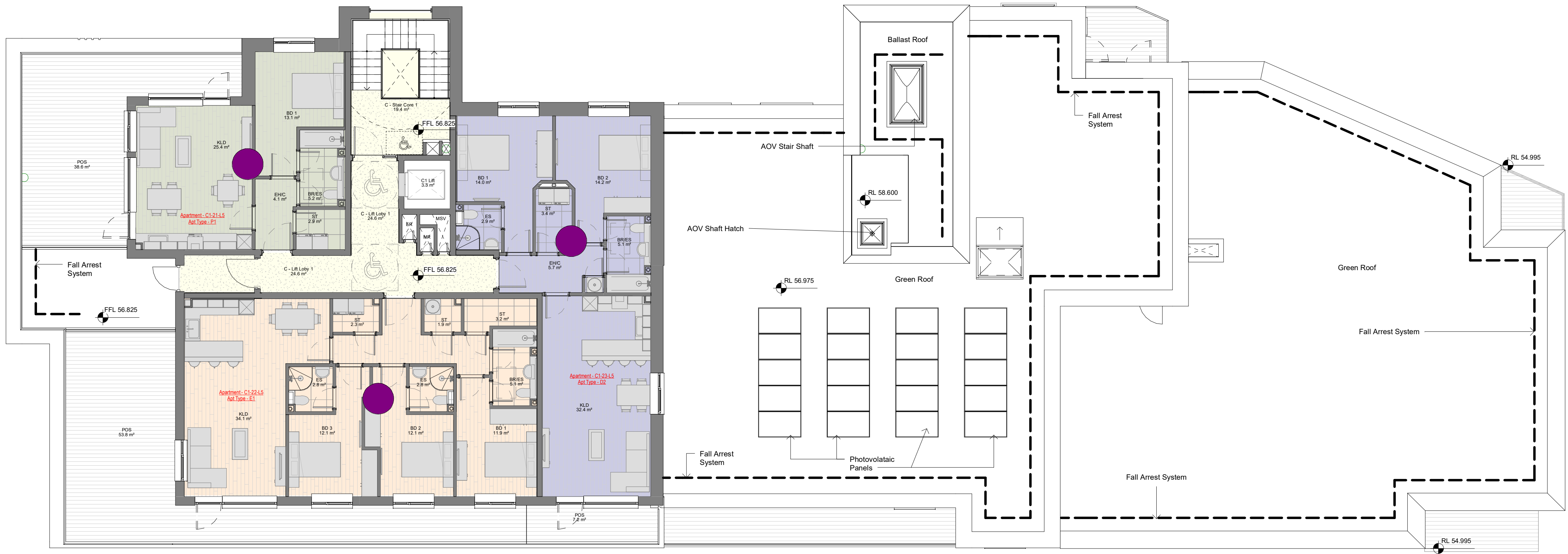
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DS	CM	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032554		

File Name
HARTPL-CWO-BC-04-DR-A-032554

Status:
S2-Suitable For Information

DESIGN INTENT
DRAWING



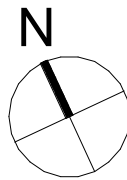
1 GA PART V - Fifth Floor Plan

1 : 100

- PART V UNIT**
- 1 BED APT
 - 2 BED APT
 - 3 BED APT
 - CIRCULATION

Room Legend

- | | |
|-------|--------------------------------|
| EH/C | Entrance Hall / Corridor |
| KLD | Kitchen / Living / Dining Room |
| BD1 | Bedroom 1 |
| BD2 | Bedroom 2 |
| BD3 | Bedroom 3 |
| BR | Bathroom |
| BR/ES | Bathroom / En Suite |
| ES | En Suite |
| ST | Store |
| POS | Private Open Space |
| ER | Electrical Riser |
| MR | Mechanical Riser |
| MSV | Mechanical Smoke Vent |



Rev	Description	Date	Dr by	App by
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Project Stage

PLANNING

Client:

Eastwise Construction Swords Limited

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - Fifth Floor GA 472 Units - PART V

Drawn	Checked	Paper Size	Scale	Date
DS	CM	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032555		

File Name
HARTPL-CWO-BC-05-DR-A-032555

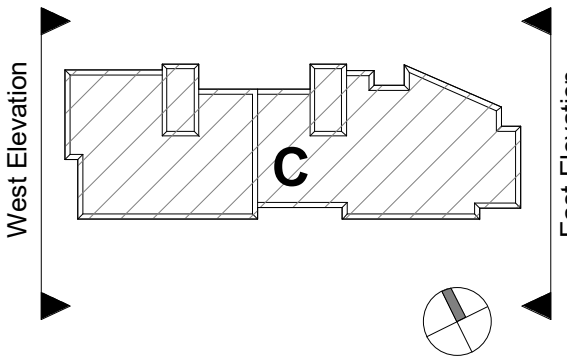
Status:
S2-Suitable For Information

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DESIGN INTENT DRAWING



1 GA - East Elevation
1 : 100



2 GA - West Elevation
1 : 100

Material Legend

- 1) Oatmeal Brickwork
- 2) Glazed balustrade with power-coated metal handrails
- 3) Grey Brickwork
- 4) Powder Coated Aluminium Double Glazed Curtain Wall
- 5) Zinc Standing Seam Cladding
- 6) Powder Coated Pressed Metal Coping Detail
- 7) Powder Coated Pressed Metal
- 8) Powder Coated Aluminium Double Glazed Windows
- 9) Render Finishing Off White
- 10) Selected Limestone
- 11) Obscure Back-Painted Glazing
- 12) Charcoal Brickwork

Rev	Description	Date	Dr by	App by
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Project Stage

PLANNING

Client:

Eastwise Construction Ltd.

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - East and West Elevation GA - 472 Units

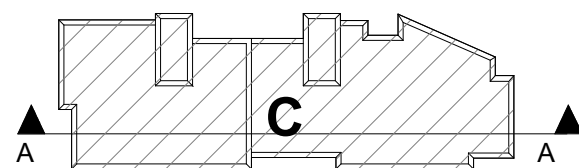
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DP	WP	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032522		

File Name
HARTPL-CWO-BC-ZZ-DR-A-032522

Status:
S2-Suitable For Information

DESIGN INTENT DRAWING



Room Legend

EH/C	Entrance Hall / Corridor
KLD	Kitchen / Living / Dining Room
BD1	Bedroom 1
BD2	Bedroom 2
BD3	Bedroom 3
BR	Bathroom
BR/ES	Bathroom / En Suite
ES	En Suite
ST	Store
POS	Private Open Space
ER	Electrical Riser
MR	Mechanical Riser
MSV	Mechanical Smoke Vent



1 GA - Section AA
1 : 100

Rev	Description	Date	Dr by	App by
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Project Stage

PLANNING

Client:

Eastwise Construction Ltd.

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - Section AA GA - 472 Units

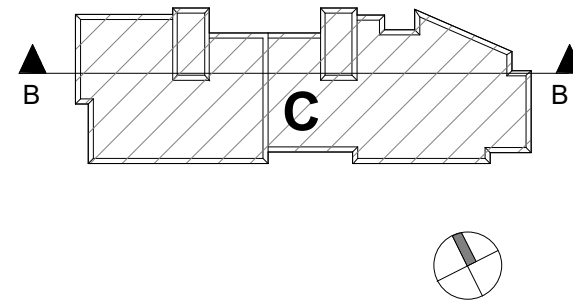
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DP	WP	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032530		

File Name
HARTPL-CWO-BC-ZZ-DR-A-032530

Status:
S2-Suitable For Information

DESIGN INTENT DRAWING



Room Legend

EH/C	Entrance Hall / Corridor
KLD	Kitchen / Living / Dining Room
BD1	Bedroom 1
BD2	Bedroom 2
BD3	Bedroom 3
BR	Bathroom
BR/ES	Bathroom / En Suite
ES	En Suite
ST	Store
POS	Private Open Space
ER	Electrical Riser
MR	Mechanical Riser
MSV	Mechanical Smoke Vent



1 GA - Section BB

1 : 100

Rev	Description	Date	Dr by	App by
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Project Stage

PLANNING

Client:

Eastwise Construction Ltd.

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - Section BB GA - 472 Units

Drawn	Checked	Paper Size	Scale	Date
DP	WP	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032531		

File Name
HARTPL-CWO-BC-ZZ-DR-A-032531

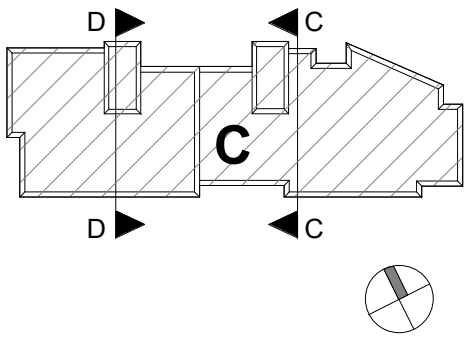
Status:
S2-Suitable For Information

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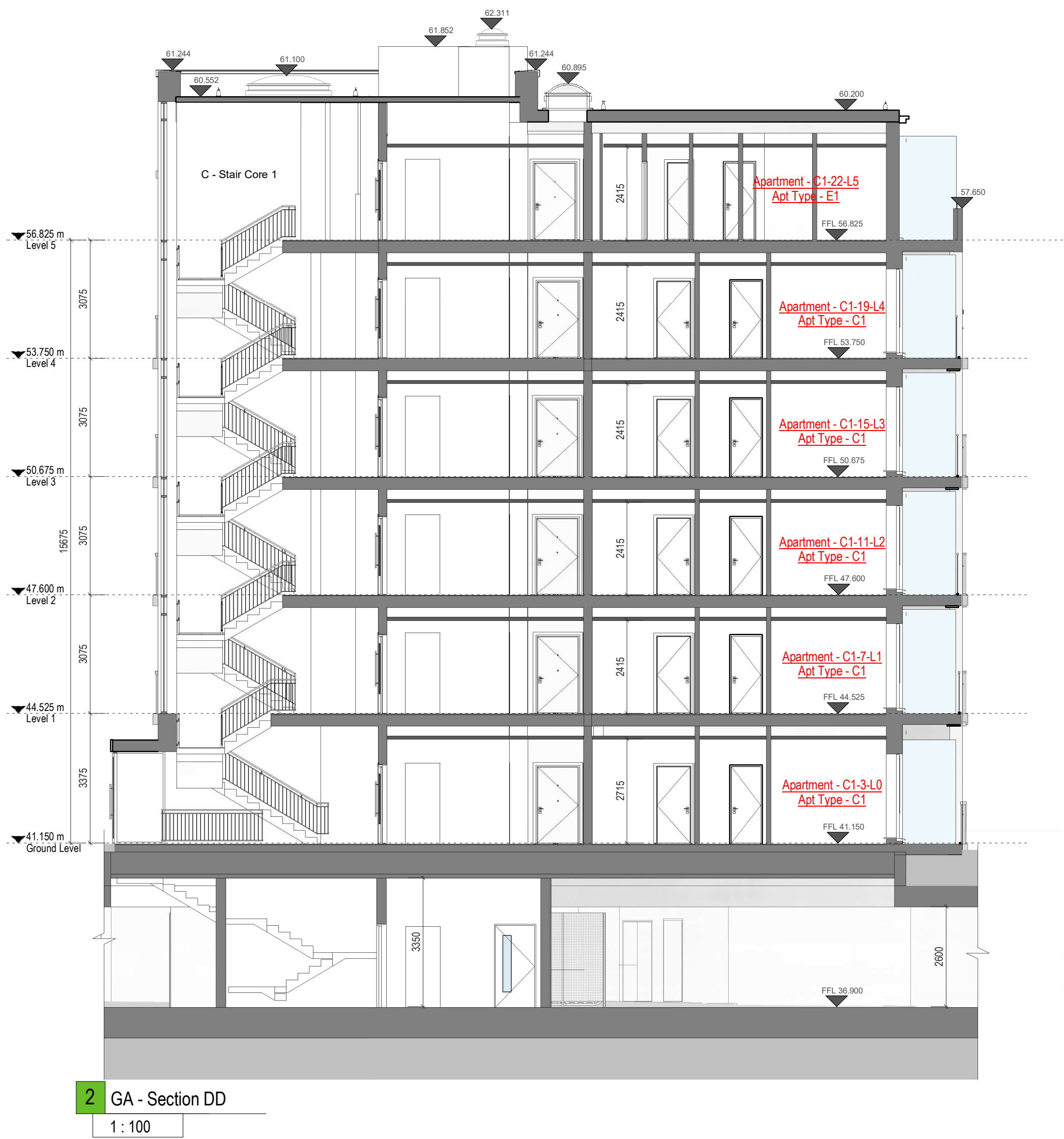
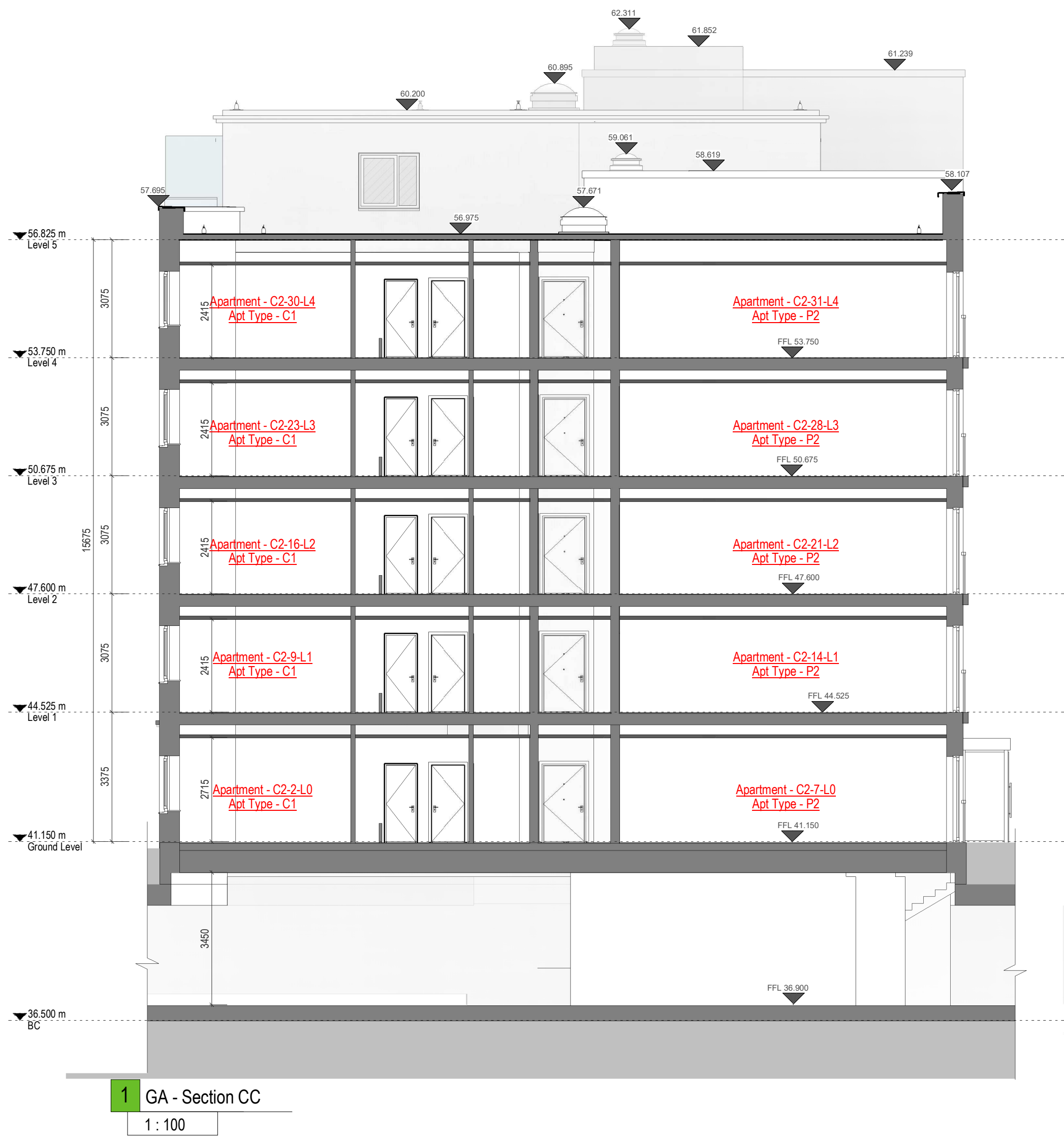
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DESIGN INTENT DRAWING



Room Legend

EH/C	Entrance Hall / Corridor
KLD	Kitchen / Living / Dining Room
BD1	Bedroom 1
BD2	Bedroom 2
BD3	Bedroom 3
BR	Bathroom
BR/ES	Bathroom / En Suite
ES	En Suite
ST	Store
POS	Private Open Space
ER	Electrical Riser
MR	Mechanical Riser
MSV	Mechanical Smoke Vent



Rev	Description	Date	Dr by	App by
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Project Stage

PLANNING

Client:

Eastwise Construction Ltd.

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

BLOCK C - Section CC and DD GA - 472 Units

Drawn	Checked	Paper Size	Scale	Date
DP	WP	A1	1 : 100 @A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	032532		

File Name
HARTPL-CWO-BC-ZZ-DR-A-032532

Status:
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ALL CONTRACTORS MUST VISIT THE SITE AND BE RESPONSIBLE FOR CHECKING ALL SETTING OUT DIMENSIONS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY MANUFACTURE OR CONSTRUCTION WORK.

NOTES:

DESIGN INTENT DRAWING

APPLICATION BOUNDARY



DEVELOPABLE AREA



Rev	Date	Description	Issued By
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Project Stage

PLANNING

Client:

Eastwise Construction Swords Limited

Project:

Hartfield Place
Swords Road, Whitehall, Dublin 9
D09 C7F8

Drawing Title:

SITE PLAN - PART V

Drawn	Checked	Paper Size	Scale	Date
DP	CM	A1	1 : 500@A1	Mar. 2022

Project No.	Drawing No.	Classification	Revision
HARTPL	000505		

File Name
HARTPL-CWO-SM-00-DR-A-000505

Status:

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1 SITE PLAN - PART V

1 : 500



HARTFIELD PLACE PRS DEVELOPMENT, SWORDS ROAD, WHITEHALL
HOUSING QUALITY ASSESSMENT - PART V
PLANNING APPLICATION

MARCH 2022

C+W O'BRIEN
ARCHITECTS

A stylized map of a residential area with a grid of streets. A specific location is highlighted with a dark grey rectangle. The text 'HARTFIELD PLACE' is printed in a serif font to the right of this rectangle. The map uses various shades of grey and blue to represent different land uses or features.

HARTFIELD
PLACE

Housing Quality Assessment - Overview of the development

Hartfield Place, Swords Road, Dublin 9	Date: Mar. 2022 - CWO	C+W O'BRIEN ARCHITECTS
HOUSING QUALITY ASSESSMENT - APARTMENT BLOCKS A, B, C, D, E, F, G		

Block	Unit No. Total	Area Required (m2)	Area Achieved (m2)	Additional area provided (m²)	Additional area provided (%)	Dual Aspect	No. of Bedrooms	No. of Bedspaces	Bed 1 Area Required (m²)	Bed 1 Area Achieved (m²)	Bed 2 Area Required (m²)	Bed 2 Area Achieved (m²)	Bed 3 Area Required (m2)	Bed 3 Area Achieved (m2)	Aggregate Bed Area Required (m2)	Aggregate Bed Area Achieved (m2)	Living Area Required (m2)	Living Area Achieved (m2)	Aggregate Storage Area Required (m2)	Aggregate Storage Area Achieved (m2)	Garden/Terrace/Balcony Area Required (m2)	Garden/Terrace/Balcony Area Achieved (m2)	Additional POS Area Provided (m2)	Additional POS Area Provided (%)	Secure Cycle Space (req.)	Additional Apartment & POS Area Provided (m2)	Additional Apartment & POS Area Provided (%)
A	56	3,551	4,042	491	13.8%	50.00%	92	189	581	640	442	472	80	80	1,103	1,192	1,589	1,663	291	297	357	532	175	48.9%	56	666	17.0%
B	78	4,734	5,156	422	8.9%	52.56%	111	237	718	787	624	659	0	0	1,342	1,446	2,235	2,347	378	383	471	576	105	22.2%	78	527	10.1%
C	54	3,343	3,912	569	17.0%	68.52%	87	174	616	679	416	468	11	11	1,043	1,158	1,470	1,618	261	268	336	559	223	66.5%	54	792	21.5%
D	76	4,557	5,199	642	14.1%	52.63%	117	234	866	971	520	564	11	11	1,398	1,546	2,032	2,161	351	365	462	729	267	57.8%	76	909	18.1%
E	58	3,786	4,337	551	14.6%	60.34%	100	200	661	777	546	596	0	0	1,207	1,373	1,628	1,718	300	309	374	625	251	67.1%	58	802	19.3%
F	76	4,044	4,613	569	14.1%	53.95%	94	194	798	899	299	335	0	0	1,110	1,248	1,958	2,085	300	318	422	624	202	47.9%	76	771	17.3%
G	74	3,898	4,440	542	13.9%	51.35%	90	186	775	871	286	317	0	0	1,061	1,187	1,898	2,017	288	305	408	602	194	47.6%	74	736	17.1%
Total	472	27,913	31,699	3,786	13.6%	55.08%	691	1,414	5,016	5,624	3,133	3,411	103	103	8,265	9,151	12,810	13,608	2,169	2,245	2,830	4,247	1,417	50.1%	472	5,203	16.9%

Accommodation Mix		
Apartments Only		
Type	Number	%
Studio	32	6.8%
1 bed	198	41.9%
2 bed	233	49.4%
3 bed	9	1.9%
Total	472	100.0%

Gross Internal Areas	
Type	SQM
Block A	5887.94
Block B	6425.90
Block C	4778.71
Block D	6438.29
Block E	5350.56
Block F	5712.40
Block G	5493.60
G.I.A. of Development	40087.40
Figures incl. above	
Circulation and Auxiliary	7233.40
Café (Block A)	99.00
Figures excl. above	
Basement Area	10626.0
Plant (Basement)	369.90

Net Internal Areas	
Type	SQM
Block A	4042.18
Block B	5156.47
Block C	3911.89
Block D	5198.70
Block E	4336.94
Block F	4612.78
Block G	4440.28
N.I.A. of Development	31699.24

Amenity Space			
Private Amenity Space			
	Required (m2)	Provided (m2)	Additional (m2)
Total	2,830	4,247	1,417

Communal Indoor Space	
	Provided (m²)
Residents Gym (Block A)	205.00
GF (Block A)	250.00
L06 (Block A)	56.00
Total Amenity Space	511.00

Communal Outdoor Space			
	Required (m²)	Provided (m²)	Additional (m²)
L06 (Block A)		77	
L5 (Block F)		103	
L04 (Block G)		161	
Open Space	2,830	2,960	130
Total	2,830	3301	471

Public Open Space			
	Required (m²)	Provided (m²)	Additional (m²)
POS	5,468	6,145	677
Total	5,468	6,145	677

Creche Play Space			
	Required (m²)	Provided (m²)	Additional (m²)
Total		118.00	

Dual Aspect %			
	Required %	Provided No.	Provided %
Block A	33%	28	50.0%
Block B		41	52.6%
Block C		37	68.5%
Block D		40	52.6%
Block E		35	60.3%
Block F		41	53.9%
Block G		38	51.4%
Total		260	55.6%

Car Parking and Cycle Spaces	
Type	Provided
Residents Parking (Basement)	249
Residents Parking (Surface)	37
Accessible Parking	22
Car Share / Car Club	5
Visitor Parking	19
Creche Staff	5
Total for Residents	308
Car Parking Total	337
Motorcycle Parking	14
Cargo Bike Spaces	14
Secure Cycle Spaces	732
Visitor Cycle Spaces	236
Cycle Spaces Total	968

Quantity & Area of units with Internal Space 10% +					
Blocks	Total Qty Units	Qty. Units: 10% +	Area Required	Area Achieved	% Units: 10% +
Block A	56	40	2,703	3,148	71%
Block B	78	23	1,679	1,914	29%
Block C	54	43	2,540	3,040	80%
Block D	76	53	2,878	3,375	70%
Block E	58	58	3,786	4,337	100%
Block F	76	58	3,114	3,633	76%
Block G	74	56	2,968	3,460	76%
Total	472	331	19,668	22,906	70%

Plot Ratio (m²) - (Development site)	
Site Area	27,340
Total GFA	40,087
Ratio	1.47

Site Coverage (m²) - (Development site)	
Site Area	27,340
Built Area (above ground)	7,995
%	29.2%

Site Density - (Development site)	
Site Area (ha)	2.734
Total Units (Apartments Only)	472
Units per hectare	172.64

Public Open Space Ratio - (Development site)	
Site Area (m²)	27,340
Public Open Space (m²)	6,145
Public Open Space Ratio (%)	22.5%

Housing Quality Assessment - Blocks & Apartment types

Hartfield Place, Swords Road, Dublin 9

Date: Mar. 2022 - CWO

C+W O'BRIEN

ARCHITECTS

HOUSING QUALITY ASSESSMENT - RESIDENTIAL APARTMENT BLOCKS ALL - Unit Type

Block	Unit Type	Description	No. of Units	Floor Area (m²)	Total Floor Area (m²)
A	A1	2 bed apartment	4	89.0	356.0
	B1	2 bed apartment	11	86.1	947.3
	S1	1 bed apartment	5	47.0	235.0
	S2	Studio apartment	5	37.0	185.0
	D1	2 bed apartment	6	82.0	492.0
	D2	2 bed apartment	5	79.3	396.5
	E2	3 bed apartment	7	104.9	734.3
	K1	2 bed apartment	1	78.1	78.1
	Q1	1 bed apartment	12	51.5	618.0
	Commercial	Level L00 Unit	1	99.0	99.0
	Communal Amenity	Basement	1	205.0	205.0
	Communal Amenity	Level L00	4	250.0	250.0
	Communal Amenity	Level L06	1	56.0	56.0
			56		4042.2
		Commercial			99.0
		Communal Amenity			511.0
		Creche			445.8
		Creche Outdoor playarea			118.4
Total A		Total			5097.9
B	C 1	2 bed apartment	10	86.1	861.2
	C2	2 bed apartment	3	81.7	245.1
	S1	1 bed apartment	15	47.0	705.0
	S2	Studio apartment	15	37.0	555.0
	D2	2 bed apartment	25	79.3	1982.5
	O1	2 bed apartment	10	80.8	807.7
	Total B		78		5156.5
C	A1	2 bed apartment	5	89.0	445.0
	B1	2 bed apartment	5	86.1	430.6
	C1	2 bed apartment	10	86.1	861.2
	D2	2 bed apartment	11	79.3	872.3
	E1	3 bed apartment	1	104.9	104.9
	P1	1 bed apartment	1	52.3	52.3
	P2	1 bed apartment	5	60.9	304.3
	Q1	1 bed apartment	8	51.5	412.0
	Q2	1 bed apartment	4	52.8	211.2
	Q4	1 bed apartment	4	54.5	218.2
Total C		54		3911.9	
D	C1	2 bed apartment	14	86.1	1205.7
	C2	2 bed apartment	2	81.7	163.4
	D2	2 bed apartment	23	79.3	1823.9
	E1	3 bed apartment	1	104.9	104.9
	P1	1 bed apartment	8	52.3	418.2
	Q1	1 bed apartment	14	51.5	721.0
	Q2	1 bed apartment	7	52.8	369.6
	Q3	1 bed apartment	7	56.0	392.0
	Total D		76		5198.7
E	C1	2 bed apartment	14	86.1	1205.7
	C2	2 bed apartment	2	81.7	163.4
	D1	2 bed apartment	23	82.0	1886.0
	D3	2 bed apartment	3	83.9	251.6
	P1	1 bed apartment	8	52.3	418.2
	Q1	1 bed apartment	8	51.5	412.0
	Total E		58		4336.9
F	C1	2 bed apartment	12	86.1	1033.4
	D1	2 bed apartment	6	82.0	492.0
	D2	2 bed apartment	6	79.3	475.8
	P1	1 bed apartment	18	52.3	941.0
	Q1	1 bed apartment	11	51.5	566.5
	Q2	1 bed apartment	5	52.8	264.0
	Q3	1 bed apartment	6	56.0	336.0
	S1	1 bed apartment	6	47.0	282.0
	S2	Studio apartment	6	37.0	222.0
	Total F		76		4612.8
G	C1	2 bed apartment	10	86.1	861.2
	D1	2 bed apartment	6	82.0	492.0
	D2	2 bed apartment	6	79.3	475.8
	P1	1 bed apartment	16	52.3	836.5
	S1	1 bed apartment	6	47.0	282.0
	S2	1 bed studio	6	37.0	222.0
	Q1	1 bed apartment	12	51.5	618.0
	Q2	1 bed apartment	6	52.8	316.8
	Q3	1 bed apartment	6	56.0	336.0
Total G		74		4440.3	
TOTALS ALL		Residential			31699.2
		Commercial Unit			99.0
		Communal Amenity			511.0
		Crèche			445.8
		ALL			32755.0

ALL APARTMENTS BY TYPE

Unit Type	Description	No. of Units	Floor Area (m²)	POS (m²)	Total Area (m2)
2B4P-Type A1	2 bed apartment	9	89.00		801.0
2B4P-Type B1	2 bed apartment	16	86.12		1,377.9
2B4P-Type C1	2 bed apartment	70	86.12		6,028.4
2B4P-Type C2	2 bed apartment	7	81.69		571.8
2B4P-Type S1	1 bed apartment	32	47.00		1,504.0
2B4P-Type S2	Studio apartment	32	37.00		1,184.0
2B4P-Type D1	2 bed apartment	41	82.00		3,362.0
2B4P-Type D2	2 bed apartment	76	79.30		6,026.8
2B4P-Type D3	2 bed apartment	3	83.88		251.6
3B6P-Type E1	3 bed apartment	2	104.90		209.8
3B6P-Type E2	3 bed apartment	7	104.90		734.3
2B4P-Type K1	2 bed apartment	1	78.06		78.1
2B4P-Type O1	2 bed apartment	10	80.77		807.7
1B2P-Type P1	1 bed apartment	51	52.28		2,666.3
1B2P-Type P2	1 bed apartment	5	60.85		304.3
1B2P-Type Q1	1 bed apartment	65	51.50		3,347.5
1B2P-Type Q2	1 bed apartment	22	52.80		1,161.6
1B2P-Type Q3	1 bed apartment	19	56.00		1,064.0
1B2P-Type Q4	1 bed apartment	4	54.54		218.2
Total		472	67.16		31,699.2

TYPE

	Studio apartment	32	37.00		1,184.0
	1 bed apartment	198	51.85		10,265.8
	2 bed apartment	233	82.86		19,305.4
	3 bed apartment	9	104.90		944.1
Total/Average		472	67.16		31,699.2

ALL APARTMENTS BY BLOCK / %

Swords Road

DCC Extant Approved Incl. Block F

Blocks	Floors	Approved
A	(5-7)	43
B	5	55
C	(4-5)	40
D	7	56
E	(4-7)	50
F	6	76
G	(4-6)	54
Total		374
%Mix:	Units	%
Studio	0	0.0%
1 bed	60	16.0%
2 bed	254	67.9%
3 bed	60	16.0%
Total	374	100%

Swords Road

Proposed

Blocks	Floors	Proposed
A	(5-8)	56
B	(5-6)	78
C	(4-6)	54
D	(7-8)	76
E	(4-8)	58
F	(5-6)	76
G	(4-6)	74
Total		472
%Mix:	Units	%
Studio	32	6.8%
1 bed	198	41.9%
2 bed	233	49.4%
3 bed	9	1.9%
Total	472	100%

Dual Aspect Ratio

	Dual Aspect	Single Aspect	Total	Percentage Dual	Percentage Single
Block A	28	28	56	50.0%	50.0%
Block B	41	37	78	52.6%	47.4%
Block C	37	17	54	68.5%	31.5%
Block D	40	36	76	52.6%	47.4%
Block E	35	23	58	60.3%	39.7%
Block F	41	35	76	53.9%	46.1%
Block G	38	36	74	51.4%	48.6%
Total	260	212	472	55.6%	44.4%

GF 208

GF 208



Schedule of Accommodation of the development

PE18138 - Hartfield Place PRS Apartment Development, Swords Road, Whitehall, Dublin								
Floor:	No. Studio	No. 1 Bed Apt.	No. 2 Bed Apt.	No. 3 Bed Apt.			No. Apts. Per Floor	G.I.A (m2):
Ground Floor:	6	36	37	1			80	6599.57
First Floor:	6	36	37	1			80	6449.15
Second Floor:	6	36	37	1			80	6449.15
Third Floor:	6	36	37	1			80	6449.15
Fourth Floor:	6	27	35	1			69	5888.05
Fifth Floor:	2	21	29	2			54	4883.51
Sixth Floor:	0	5	13	1			19	1997.75
Seventh Floor:	0	1	8	1			10	1371.10
Apartment Type Totals:	32	198	233	9	Total No. Apts:	472	G.I.A of Development m2:	40087.41
	6.8%	41.9%	49.4%	2%			Basement Area Excl.	10626
Average Studio m2*:	37	Average 1 Bed m2*:	51.9	Average 2 Bed m2*:	82.8	Average 3 Bed m2*:	104.9	
*Note: Apartment sizes vary; area stated is an average of the scheme								
Internal Communal Amenity Space m2:		511						
External Communal Space required m2:	2830	External Communal Space m2:	3301	Public Open Space m2:	6145	Total External Communal/ Open Space m2:		9446
Commercial Space m2:	99			Creche m2:	445.8	Ext. Play Area m2:	118.4	



Housing Quality Assessment - Block C - Part V

Hartfield Place, Swords Road, Dublin 9	Date: Mar. 2022 - CWO		
HOUSING QUALITY ASSESSMENT - APARTMENT BLOCK C - PART V			

LEVEL	Unit No.	Unit Type	Unit description	Type	Area Required (m2)	Area Achieved (m2)	No. of Bedspaces	Part V (Yes/No)
GROUND FLOOR	C1-1-L0	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	Y
	C1-2-L0	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	Y
	C1-3-L0	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C1-4-L0	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-1-L0	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-2-L0	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C2-3-L0	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-4-L0	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-5-L0	C-1B2P-Type Q2	1 Bed Apartment (Corner Unit)	Q2	45	52.8	2	Y
	C2-6-L0	C-1B2P-Type Q4	1 Bed Apartment (Corner Unit)	Q4	45	54.0	2	Y
FIRST FLOOR	C1-5-L1	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	Y
	C1-6-L1	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	Y
	C1-7-L1	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C1-8-L1	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-8-L1	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-9-L1	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C2-10-L1	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-11-L1	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-12-L1	C-1B2P-Type Q2	1 Bed Apartment (Corner Unit)	Q2	45	52.8	2	Y
	C2-13-L1	C-1B2P-Type Q4	1 Bed Apartment (Corner Unit)	Q4	45	54.0	2	Y
SECOND FLOOR	C1-9-L2	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	Y
	C1-10-L2	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	Y
	C1-11-L2	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C1-12-L2	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-15-L2	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-16-L2	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C2-17-L2	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-18-L2	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-19-L2	C-1B2P-Type Q2	1 Bed Apartment (Corner Unit)	Q2	45	52.8	2	Y
	C2-20-L2	C-1B2P-Type Q4	1 Bed Apartment (Corner Unit)	Q4	45	54.0	2	Y
THIRD FLOOR	C1-13-L3	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	Y
	C1-14-L3	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	Y
	C1-15-L3	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C1-16-L3	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-22-L3	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-23-L3	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	Y
	C2-24-L3	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-25-L3	C-1B2P-Type Q1	1 Bed Apartment (Mid Unit)	Q1	45	51.5	2	Y
	C2-26-L3	C-1B2P-Type Q2	1 Bed Apartment (Corner Unit)	Q2	45	52.8	2	Y
	C2-27-L3	C-1B2P-Type Q4	1 Bed Apartment (Corner Unit)	Q4	45	54.0	2	Y
FOURTH FLOOR	C1-17-L4	C-2B4P-Type A1	2 Bed Apartment (Corner Unit)	A1	73	89.0	4	N
	C1-18-L4	C-2B4P-Type B1	2 Bed Apartment (Corner Unit)	B1	73	86.1	4	N
	C1-19-L4	C-2B4P-Type C1	2 Bed Apartment (Mid Unit)	C1	73	86.1	4	N
	C1-20-L4	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-29-L4	C-2B4P-Type D2	2 Bed Apartment (Mid Unit)	D2	73	79.3	4	Y
	C2-30-L4	C-2B4P-Type C1	2 Bed Apartment (Corner Unit)	C1	73	86.1	4	Y
	C2-31-L4	C-1B2P-Type P2	1 Bed Apartment (Corner Unit)	P2	45	60.0	2	N
FIFTH FLOOR	C1-21-L5	C-1B2P-Type P1	1 Bed Apartment (CornerUnit)	P1	45	52.3	2	N
	C1-22-L5	C-3B6P-Type E1	3 Bed Apartment (CornerUnit)	E1	90	104.9	6	N
	C1-23-L5	C-2B4P-Type D2	2 Bed Apartment (CornerUnit)	D2	73	79.3	4	N
TOTAL	54				3343	3905.5	174	47

HOUSING QUALITY ASSESSMENT - APARTMENT BLOCK C - PART V

LEVEL	Unit No.	Part V (Yes/No)
GROUND FLOOR	C1-1-L0	Y
	C1-2-L0	Y
	C1-3-L0	Y
	C1-4-L0	Y
	C2-1-L0	Y
	C2-2-L0	Y
	C2-3-L0	Y
	C2-4-L0	Y
	C2-5-L0	Y
	C2-6-L0	Y
FIRST FLOOR	C1-5-L1	Y
	C1-6-L1	Y
	C1-7-L1	Y
	C1-8-L1	Y
	C2-8-L1	Y
	C2-9-L1	Y
	C2-10-L1	Y
	C2-11-L1	Y
	C2-12-L1	Y
	C2-13-L1	Y
SECOND FLOOR	C1-9-L2	Y
	C1-10-L2	Y
	C1-11-L2	Y
	C1-12-L2	Y
	C2-15-L2	Y
	C2-16-L2	Y
	C2-17-L2	Y
	C2-18-L2	Y
	C2-19-L2	Y
	C2-20-L2	Y
THIRD FLOOR	C1-13-L3	Y
	C1-14-L3	Y
	C1-15-L3	Y
	C1-16-L3	Y
	C2-22-L3	Y
	C2-23-L3	Y
	C2-24-L3	Y
	C2-25-L3	Y
FOURTH FLOOR	C1-17-L4	N
	C1-18-L4	N
	C1-19-L4	N
	C1-20-L4	Y
	C2-29-L4	Y
	C2-30-L4	Y
	C2-31-L4	N
FIFTH FLOOR	C1-21-L5	N
	C1-22-L5	N
	C1-23-L5	N
TOTAL	54	47



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ELEVATIONAL TREATMENTS
PLANNING APPLICATION

MARCH 2022

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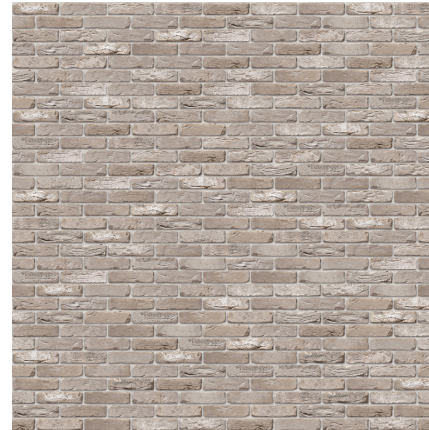
5.0

Design Strategy | 5.3 Materials

The proposed development will be constructed with a high quality of materials and finishes throughout with a particular focus on the creation of attractive, comfortable, accessible and well maintained spaces internally and externally between buildings. The focus will be on creating a place which contributes positively to the quality of the locality. The proposed treatment of the facades ensures that the development will blend into its environs and reinforce a sense of place and identity.

The buildings will be constructed with a mix of bricks in various colours consisting mainly of a light oatmeal brick, grey brick, and a charcoal brick (Livorno), offset against sections of off white coloured render. All street facades will be finished in brickwork with render facing internally to the development. The stairwells are expressed as projections and are further accentuated through the use of a zinc standing seam cladding finish. Windows and glazed doors will be finished in dark grey powder coated aluminium to match powder coated finishes to the balconies and metal copings throughout the development.

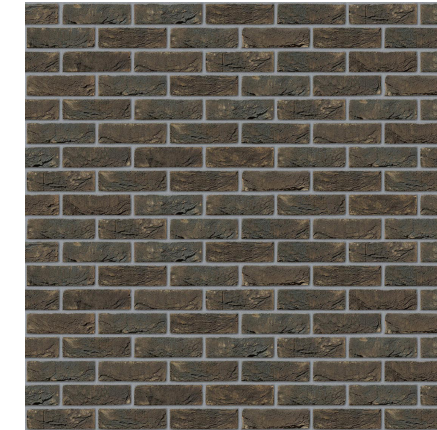
Samples of proposed brick colours:



Oatmeal

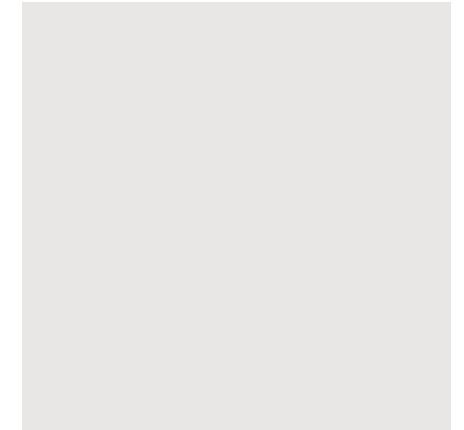


Light Grey



Livorno (charcoal)

Sample of proposed render:



Off White



Key precedent - Mixed Brickwork (Waterlofts, Hamburg by Steffen Architekten)

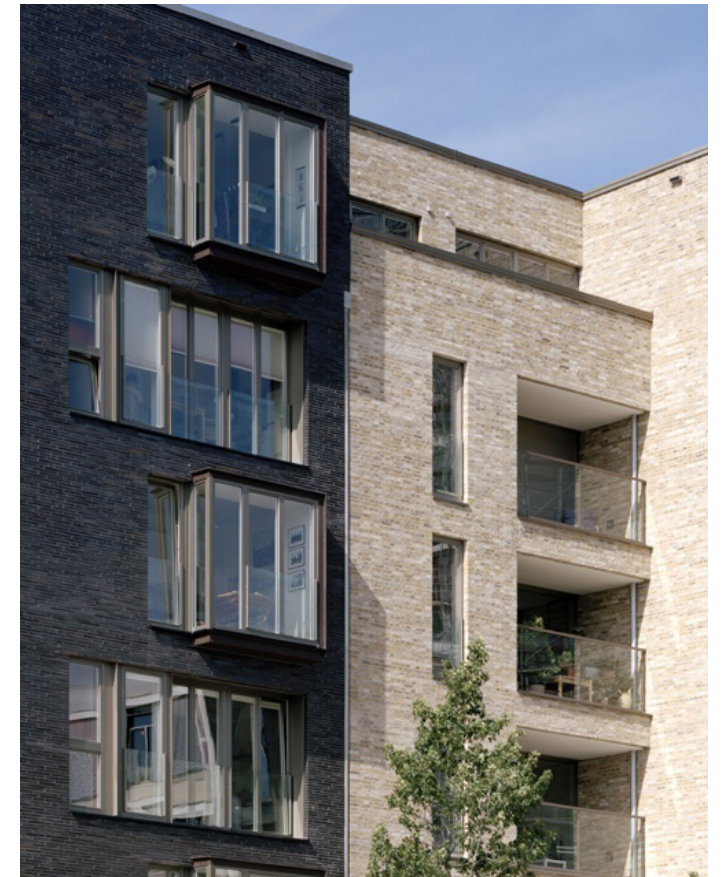


5.0

Design Strategy | 5.3 Materials



Proposed materials to Block A



Key precedent - Mixed Brickwork
(Hafen City, Hamburg by Lorenzen Architekten)



Key precedent - Mixed Brickwork
(Metropoldock, Hamburg by APB Architekten)



Key precedent - Mixed Brickwork
(Schanzenlofts, Hamburg by Giorgio Gullotta Architekten)



Key precedent - Mixed Brickwork
(Veretec Corner House, London by DSDHA)

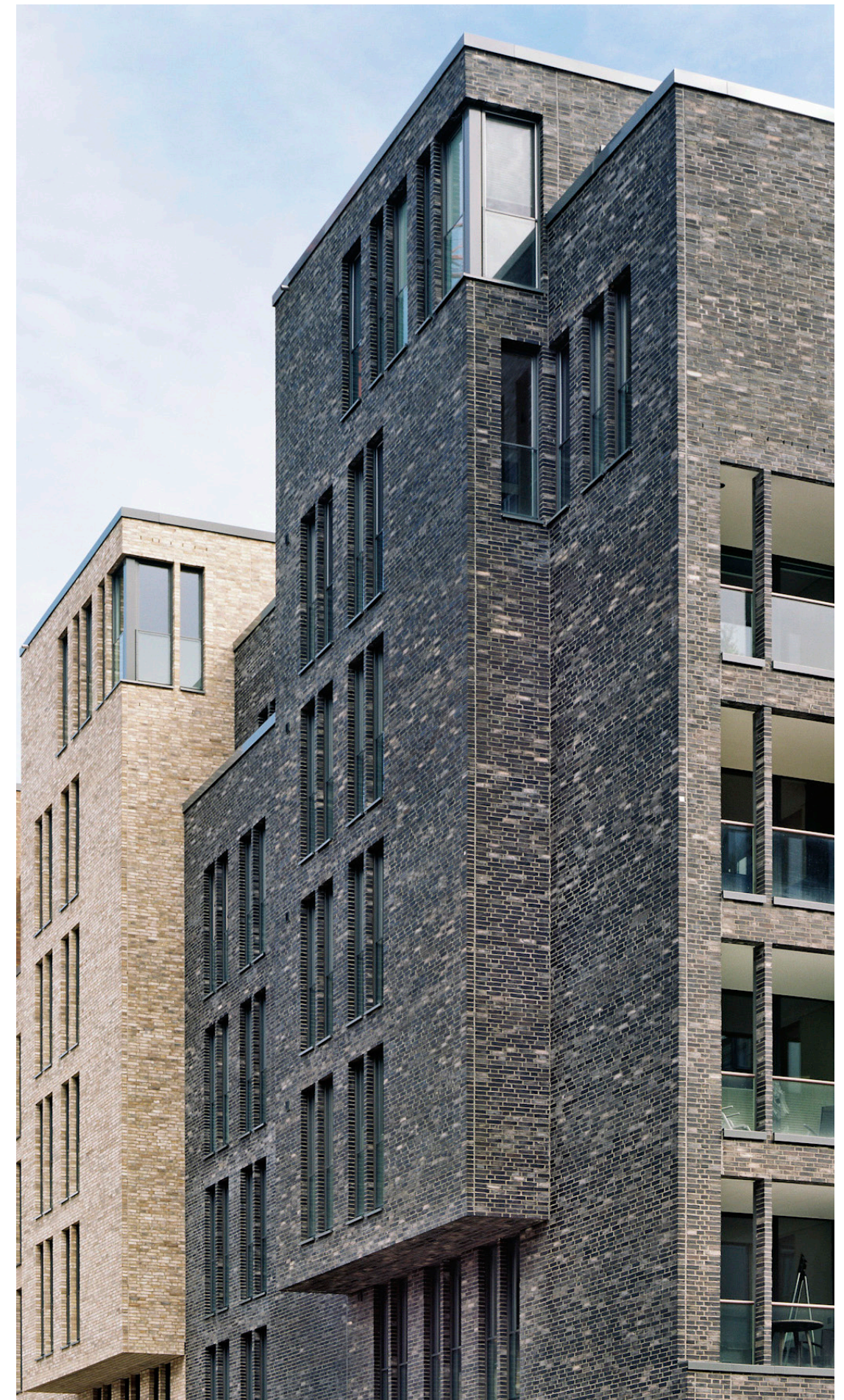
5.0 Design Strategy | 5.3 Materials



Block F - Bay Study



Key precedent - zinc cladding (Fulham Warf, London by Lifschutz Davidson Sandilands)



Key precedent - Mixed Brickwork (Metropoldock, Hamburg by APB Architekten)



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 corstorphine-wright
 admin@cwoarchitects.ie
 www.cwoarchitects.ie



LEGEND:

SOFTSCAPE:

Existing Trees Retained
Refer to Development Impact drawing

PROPOSED PLANTING

Tree tags	Species	Height	Spec
Qp	Quercus palustris	14-16cm	3atr. (R/B)
Te	Tilia europaea	14-16cm	3atr. (R/B)
Pa	Prunus avium	14-16cm	3atr. (R/B)
S	Sorbus aucuparia	14-16cm	3atr. (R/B)
B	Betula pendula	14-16cm	3atr. (R/B)
Ag	Alnus glutinosa	14-16cm	3atr. (R/B)
Ap	Acer platanoides	14-16cm	3atr. (R/B)
Qr	Quercus robur	14-16cm	3atr. (R/B)
Qp2	Quercus petraea	14-16cm	3atr. (R/B)
Sc	Salix caprea	14-16cm	3atr. (R/B)

Small and Multistem Trees	Species	Height	Spec
Ag2	Amelanchier x grandiflora 'Robin Hill'	3.5-4m	3atr. (R/B)
Bu	Betula utilis var. jacquemontii	3.5-4m	3atr. (R/B)
Pp	Prunus padus 'Bird cherry'	3.5-4m	3atr. (R/B)

Native Woodland Planting	Species	Height	Spec	Density
Corylus avellana	80-100cm	BR	1+2 Bushy	0.5/m2
Pinus sylvestris	80-100cm	C, SL	header/lateral	0.5/m2
Viburnum opulus	80-100cm	BR	1+2 Bushy	0.5/m2
Eunymus europaea	80-100cm	BR	1+2 Bushy	0.5/m2
Betula pendula	80-100cm	BR	1+2 Bushy	0.5/m2
Crataegus monogyna	80-100cm	BR	1+2 Bushy	0.5/m2
Prunus avium	80-100cm	BR	1+2 Bushy	0.5/m2
Ilex aquifolium	125-150cm	RB	header/lateral	0.5/m2
Sambucus nigra	80-100cm	BR	1+2 Bushy	0.5/m2

Hedge planting	Species	Stock	Height	Spec	Density
Ligustrum ovalifolium	RB/C	1m	Double staggered row	4/linm	

Shrub Planting	Species	Stock	Spec
High Shrub Planting			
Pyracantha 'Orange Glow'	CS	Branched	
Cornus alba 'Sibirica'	CS	Branched	
Elaeagnus x ebbingei	CS	Branched	
Vismaria tinus 'Lucidum'	CS	Branched	
Sarcococca hookeriana	CS	Branched	
Hebe rakiensis	CS	Branched	
Skimmia 'Kew Green'	CS	Branched	
Veronica bonariensis	C2	Branched	
Dianthus barbatus	C2	Branched	

Medium/Low Shrub Planting	Species	Stock	Spec
Linum catharticum 'Hidcote'	C2	Bushy	
Potentilla fruticosa 'Goldfinger'	C2	Full pot	
Skimmia japonica	C2	Full pot	
Sorbus japonica 'Goldmound'	C2	Full pot	
Hebe 'Green Globe'	C2	Full pot	
Berberis darwinii 'Darwin's barberry'	C2	Full pot	
Salvia x sylvestris 'Marianne'	C2	Full pot	
Stipa tenuissima	C2	Full pot	
Rudbeckia fulgida 'Early Bird Gold'	C2	Full pot	
Carex divulsa	C2	Full pot	
Sedum 'Autumn Joy' (Herbstfreude)	C2	Full pot	
Allium hollandicum	C2	Full pot	

Lawn	Open space lawn	grass seed with Coburns 'Utility Play' or similar in all regards. Mix: 30% (Perennial Ryegrass) + 30% (Perennial Ryegrass) + 40% (Strong creeping red fescue) + Sowing rate: 35g/m2 (12.5kg 20 bags/Ha @ 25/m2) Cutting height: Between 20-50mm
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Meadow Area	Traditional Irish wildflower mixture
Bulb Planting	Native Irish mixture

LANDSCAPE SPECIFICATIONS

Landscape works to be undertaken by an ALCI (Association of Landscape Contractors of Ireland) approved landscape contractor and in accordance with BS 4428:1989 Code of practice for general landscape operations (excluding hard surfaces).

Existing trees will be subject of Tree Survey to assess health and condition but the objective is to retain all peripheral vegetation and field hedgerows to assist with the visual integration of the proposed dwelling into the surrounding landscape. Tree protection measures will be undertaken in accordance with BS 5837:2012 - Trees in Relation to Construction.

Proposed planting species for the landscape works are based on the "Pollinator Friendly Planting Code" in the All-Ireland Pollinator Plan 2015 - 2020.

Ground Preparation

Prior to cultivation, planted areas shall be cleared of all loose debris, rubbish, stones over 25mm in diameter, roots, and other extraneous matter. Grass and weeds shall be sprayed with 'Glyphosate' or similar COSHH approved herbicide. Topsoil preparation, quality, depth, cultivation and final grading shall be carried out in suitable weather conditions as per BS 3882:2007 Specification for topsoil and requirements for use. Overall minimum depths after firming and settlement to be:

Trees & Shrub 500 mm
Lawn and Grass areas 100mm

Proposed Standard Tree Planting
Trees supply and planting shall correspond to BS 8545: Trees from nursery to independence in the landscape - Recommendations. Planting of trees shall be undertaken in favourable weather conditions between October 31st to March 31st.

The planted trees shall be full and well-shaped with crowns thinned by 30% according to good horticultural practice and in a manner that does not affect the overall stature, structure or good appearance of the tree. All work shall conform to a minimum standard as set out in BS 4043:1989 Recommendations for transplanting root-balled trees.

Tree pits shall be excavated to suitable dimensions to accommodate roots or root-balls or baskets with bases and sides broken up to a minimum depth of 150mm to assist drainage and root penetration. Any unsuitable material such as large clay lumps, bricks, concrete, timber and sand shall be removed off-site. All tree pits shall be backfilled, after planting, with a 3:1 volume mixture of topsoil and mulching compost/manure or similar approved.

Maintenance

Initial landscape operations will be undertaken by an ALCI member. The Contractor will be responsible for plant establishment and one year of establishment maintenance. The Landscape Architect will visit site at end of this year and produce a snagging list identifying all defects and outstanding items. Any trees or shrubs dying, damaged or removed will be replaced in the following planting season with plant of similar size and species.

Rain Garden Planting Mix

Species	Stock	Height	Spec	Density
Eunymus alatus 'Compactus'	CS	90-120cm	Branched	2/m2
Salix viminalis	CS	60-80cm	Branched	2/m2
Osmunda regalis	C2	30-40cm		4/m2
Iris pseudacorus	C2	30-40cm		4/m2
Deschampsia cespitosa	C2	30-40cm		4/m2
Miscanthus s. 'Kleine Fontaine'	C2	30-40cm		4/m2
Valeriana officinalis	C2	30-40cm		4/m2
Achillea filipendula 'Moonshine'	C2	30-40cm		4/m2
Sanguisorba officinalis	C2	30-40cm		4/m2
Aster novi-belgii	C2	30-40cm		4/m2
Angelica sylvestris 'Purpurea'	C2	30-40cm		2/m2
Geranium macrorrhizum 'Gerwat'	C2	30-40cm		6/m2
Primula japonica 'Millers's Crimson'	C2	20-30cm		6/m2
Helleborus foetidus	C2	10-20cm		6/m2

HARDWORKS:

Site Application boundary

Proposed dwellings Refer to Architects drawings

Kerbs and Edges

Natural Stone Edging
150mm raised Fashion Kerb supplied by Tobermore or similar & approved.

Braemar Flags 200x100x80mm
Stretcher bond
Supplier: Tobermore or similar & approved

Surfaces

Asphalt roads to Engineer's specifications

Braemar Flags 600x300x80mm
Stretcher bond
Supplier: Tobermore or similar & approved

Carparking - XFLO permeable paving supplied by Acheson + Glover or similar & approved.

Tactile paving

Raised Table/Shared surface

Street Furniture

Proposed hardwood timber benches

118 NO. Sheffield Cycle Stands

Telescopic Bollards

Proposed Cast Iron Litter Bin with lockable door. Locations TBC

Multi Use Games Area

Miscellaneous

Typical Play equipment by Richter Spielgeräte/Kompan or equal in all regards.

1000x1000mm Tree Pit

Private Amenity Space

Building Entrance

Security fence to communal open space

NOTES

All planting will correlate to guidance in the DCC Draft Biodiversity Action Plan and follow guidance on species provided in the All-Ireland Pollinator Plan 2021-2025.

Further ecology measures will be provided as detailed design stage under direction of JBA Consulting Ecology.

For all boundary treatments and retaining walls site wide refer to Architects Drawings

Bat & Bird Corridor (Public Open Space)

Species	Stock	Spec
Vincetoxicum	C2	Full pot
Hedera Helix	C2	Full pot

Bat & Bird Corridor (Southern Boundary)

Species	Height	Stock	Spec	Density
Corylus avellana	80-100cm	BR	1+2 Bushy	0.5/m2
Viburnum opulus	80-100cm	BR	1+2 Bushy	0.5/m2
Eunymus europaea	80-100cm	BR	1+2 Bushy	0.5/m2
Crataegus monogyna	80-100cm	BR	1+2 Bushy	0.5/m2
Ilex aquifolium	125-150cm	RB	header/lateral	0.5/m2
Sambucus nigra	80-100cm	BR	1+2 Bushy	0.5/m2
Hedera Helix				
Cornus alba 'Sibirica'		CS	Branched	

PLANNING	OC	24.02.22	-
Revision Details	AS	Date	Rev
	Check		

Status: PLANNING



Hawarden House, 163 Upper Newtownards Road, Belfast, BT4 3HZ
T: +44 (0)28 9029 8020 E: info@parkhood.com parkhood.com

Client: Earthwise Construction Ltd

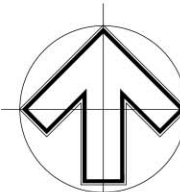
Project: Hartfield Place
Swords Road, Whitehall, Co. Dublin

Title: Proposed Landscape Masterplan

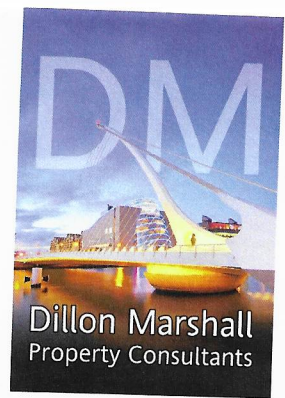
Scale@A0: 1-500

Date: February 2022

Dwg.no: 7335-L-2005



0 10 20 30 40 50m



Mr Fergus Lynch
Eastwise Construction Ltd,
Station Mews,
Lindsay Grove,
Dublin 9

Telephone: 01 496 7574
Web: www.dmpc.ie
Email: info@dmpc.ie
212 Harold's Cross Road,
Harold's Cross, Dublin 6w

9th July 2019

RE: EXISITING USE VALUE, SWORDS ROAD, DUBLIN 9.

Dear Mr Lynch,

In accordance with your most recent instructions, I can confirm having inspecting the above lands and examined our files with a view to assessing its existing use value as the date of this report.

The Valuer:

This valuation was carried out by Mr Damien Dillon who has over 18 years expertise in the process of carrying out valuation appraisals. He is the principal and co-owner of Dillon Marshall Property Consultants located at 212 Harold's Cross Road in Dublin 6W.

Purpose of Valuation:

Our valuation has been compiled on the basis that you require it for your own personal use in order to assess the existing use value of the above lands.

Basis of Valuation:

Our valuation opinion is calculated on the basis of recent transactions (if any) which have come to our attention in the area of similar properties where that information is available to us, in addition to applying our own professional opinion taking into consideration the nature of the lands, its location, the general overall condition of same and market conditions prevailing as at the date of this report.

Description:

C6.746 acres of serviced Residential land.

Registered in Ireland No: 512601
VAT No: IE982758OL

Directors:
Damien Dillon
Earin Marshall

PSRA Licence Number: 001314

Location:

Very good location only a short distance away from Drumcondra village and all other local amenities including Dublin Airport and Omni shopping centre.

Valuation Assumptions:

For the purpose of concluding a valuation determination, I will also assume the following:

- a) A willing seller and a willing purchaser. b) Prior to date of Valuation there had been a reasonable period, having regard to the nature of the property and the state of the market, for the proper marketing of the interest, for the agreement of the price and terms and for the completion of sale.
- c) That the state of the market, level of values and other circumstances were, on any earlier assumed date of exchange of contracts, the same as on the date of Valuation.
- d) That no account is taken of any special interest bid by a prospective purchaser with a special interest e) That both parties to the transaction had acted knowledgeably, prudently and without compulsion. f) Clear marketable title

Valuation

Taking into careful consideration the foregoing and being well acquainted with '*land values*' in the Dublin 9 & North Dublin area, I am of the opinion that the existing value to the above lands would be fairly Represented by a in the region of

€674,600.00
(€100,000 Per Acre)

Finally, I believe that the above opinion represents a true and realistic assessment of valuation as at the day of the report.

Should you require any further information in relation to any aspect of the above, please do not hesitate to contact me.

Yours sincerely,



Damien Dillon,
Director

Appendix I – Cat III Design Check Certificate

HARTFIELD PLACE RESIDENTIAL DEVELOPMENT**Design Check Certificate**

Design Element: Hartfield Place Residential Development, Swords Road

Reference No: **19-196-CE01-Rev 2**

1. We hereby certify to the Client in respect of the check of the Design of the above Design Element, that reasonable professional skill, care and diligence has been taken by us with a view to securing that this Design Element:
- (i) complies with the Agreement (see below definition);
 - (ii) is not detrimental to the integrity of the Dublin Port Tunnels;
 - (iii) has been accurately translated into the Tunnel Impact Assessment Report bearing the unique reference numbers listed below:

Document Number	Rev	Document Title	Scheme no.
19-196-R05	2	Tunnel Impact Assessment Hartfield Place Residential Development, Swords road Impact of Construction of the Development on Dublin Port Tunnels	472

2. We agree that the words and phrases stated herein, unless otherwise stated, have the same meaning as attributed to them in the Agreement between the Client and the Independent Checker.

Independent Checker (Partner or Director)**Byrne Looby Consulting Engineers Ltd. dated 24th February, 2021**Signed ... Maurice Ryan Date 28/03/2022Name ... Maurice Ryan Firm ByrneLooby

3. Receipt of this Certificate is Acknowledged/Acknowledged by
Client

Eastwise GroupSigned ... [Signature] Date 28/03/2022Name ... K GANNON

Definitions: The *Agreement* referred to in this document is the works outlined in the fee proposal dated 24th February, 2020 (document reference no. T2053D_FEE_LT01_00).